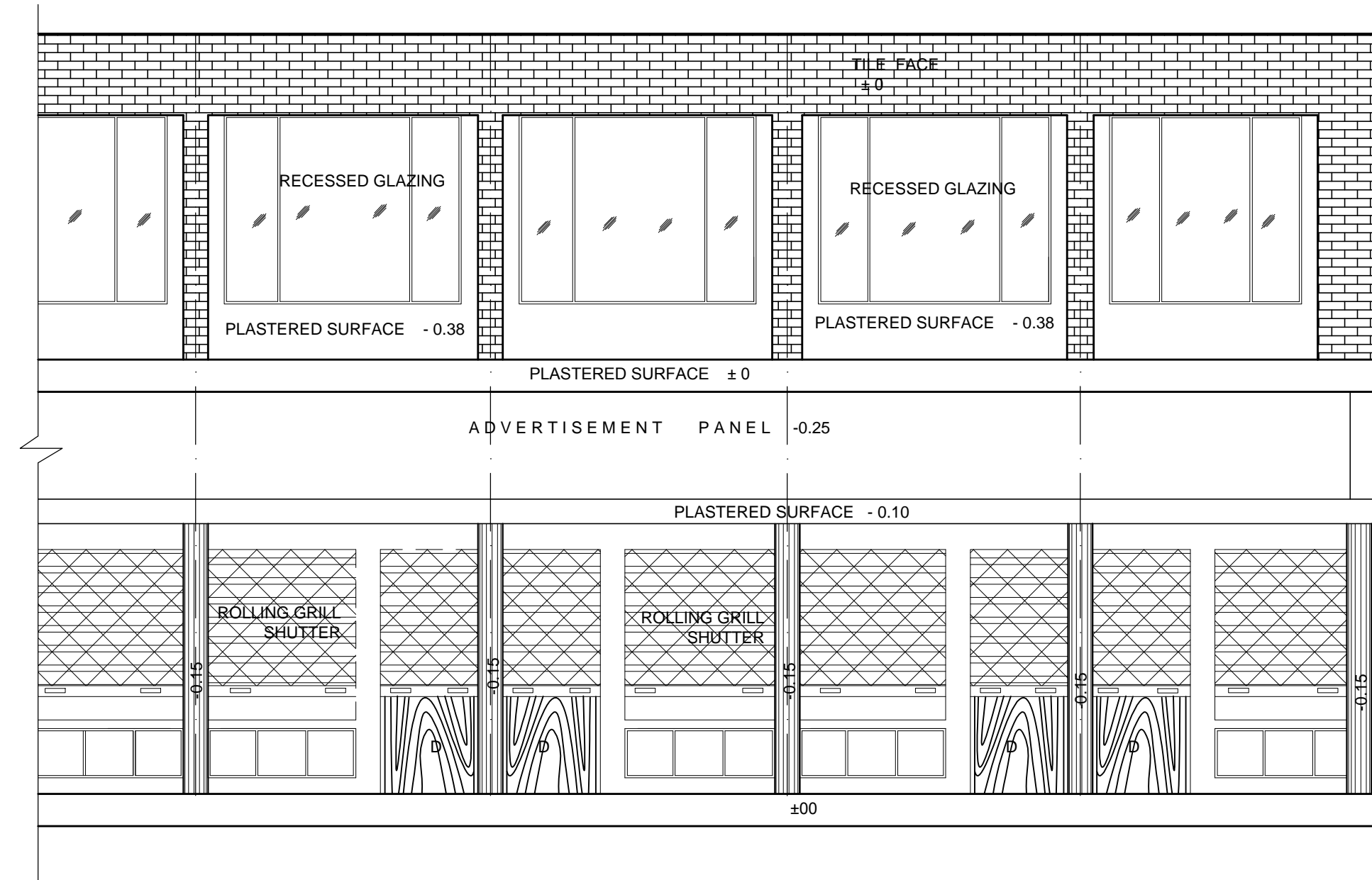
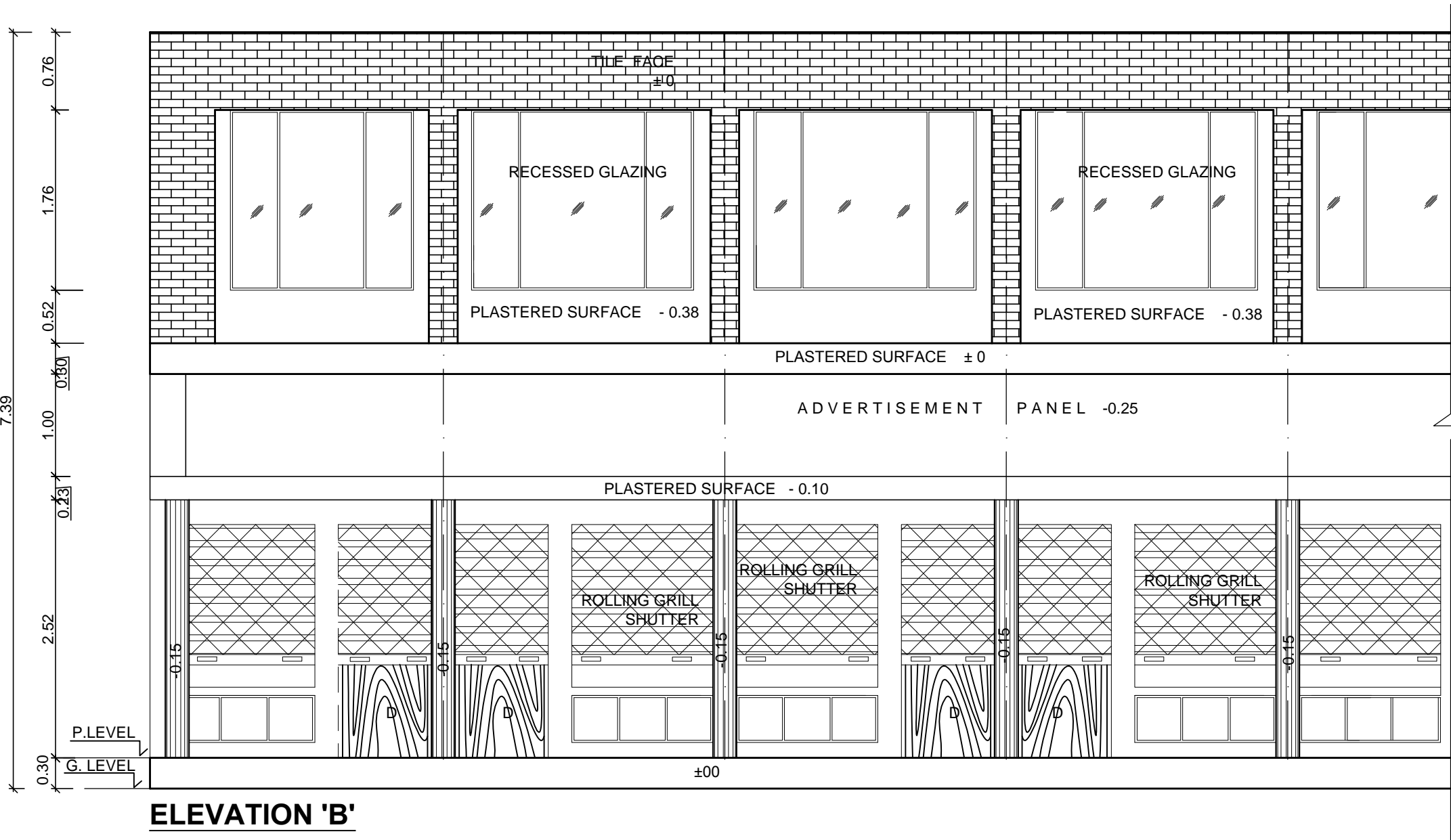


COMMERCIAL SITES WITH STORAGE ON FIRST FLOOR

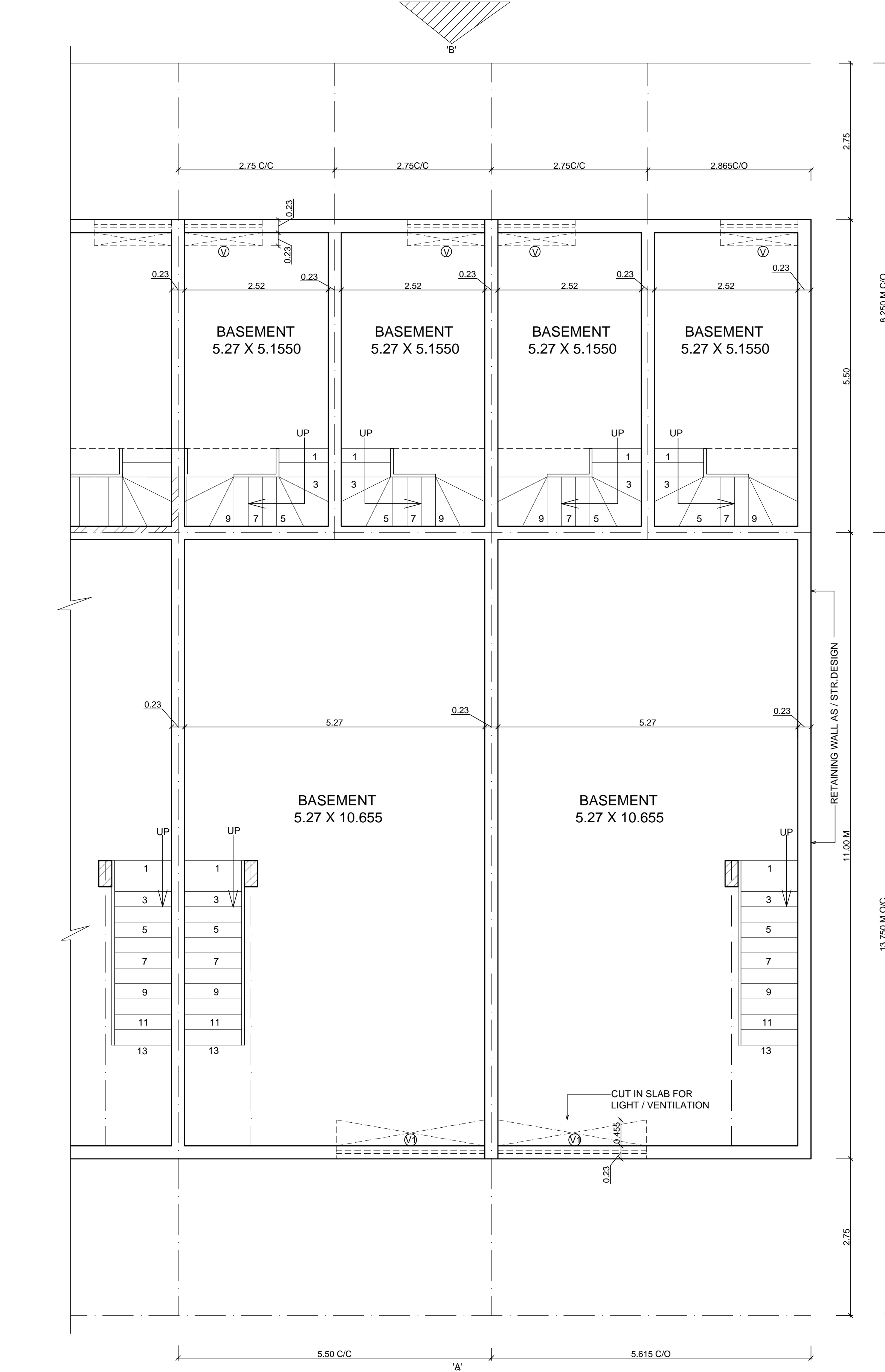
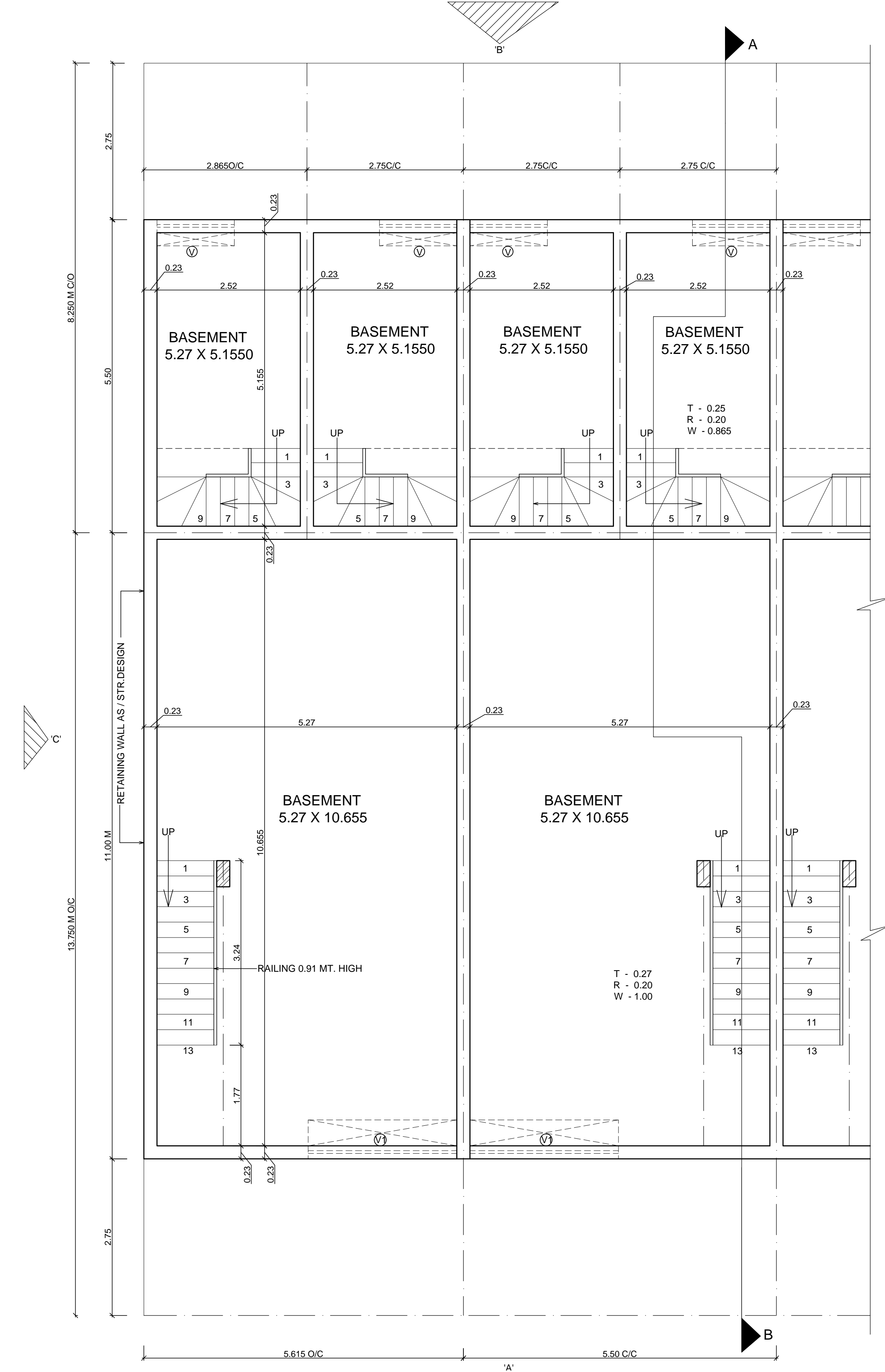
S.NO.	NOMENCLATURE	SIZE	W.R.T.	JOB NO.	APPLICABILITY AT PANCHKULA
1.	BOOTH WITH STORAGE ON FIRST FLOOR	2.75X8.25MT./ 2.865 X8.25MT	3023/1	3331/2-S/2	PANCHKULA:- SECTOR-11 (107-D To120)
2.	SERVICE SHOPS ADJOINING BOOTHS WITH BASEMENT WITH STORAGE ON FIRST FLOOR	2.75X8.25MT./ 2.865X8.25MT/ 5.50X13.75M/ 5.615X13.75M	3094/4	3332/2-S/5	PANCHKULA:- SHOPPING CENTRE SEC-26 POCKET 'A' , SHOPPING CENTRE INDUSTRIAL AREA PHASE-II
3.	BOOTH WITH BASEMENT WITH STORAGE ON FIRST FLOOR	2.75X8.25MT./ 5.50X8.25MT	3155/1	3333/2-S/3	PANCHKULA - SHOPPING CENTRE SECTOR-19(SITE NO. III) (14to17,51to54,89to92 & 124to127)
4.	DHABA WITHOUT BASEMENT WITH STORAGE ON FIRST	5.615X8.25MT.	1075-A/1	3335/2-S/2	PANCHKULA: SEC-25 (EXT.) [BOOTH NO 93 TO 102]
5.	DHABA WITHOUT BASEMENT WITH STORAGE ON FIRST FLOOR	5.50X8.25MT.	1075-B/1	3337/2-S/1	PANCHKULA:- SEC-10 BELT OPP.BUS STAND, SEC.4 OPP.MANSA DEVI TEMPLE, SEC-25(EXTN.)



1. PROVISION OF FIRST FLOOR HAS BEEN APPROVED IN THE 112TH MEETING OF HUDA HELD ON 10.01.2017 AS PER AGENDA ITEM NO. A-112 TH (20).
2. THIS JOB IS TO BE READ W.R.T. JOB NO.3094/4 FOR THE PROVISION OF STORAGE ON FIRST FLOOR.
3. STAIRCASE SHALL BE AS PER **ADDITIONAL CLAUSE NO. 2-a** WRITTEN ON DRG. NO. 1.

- ADDITIONAL CLAUSES:-**
- 1). **SANCTION OF BUILDING PLAN:-** BEFORE THE COMMENCEMENT OF THE CONSTRUCTION THE ALLOTTEE OF SINGLE STOREY SHOPS SHALL GET THE BUILDING PLAN OF FIRST FLOOR SANCTIONED FROM CONCERNED ESTATE OFFICER HSVP. THE BUILDING PLAN SHALL BE ACCOMPANIED WITH STRUCTURAL CERTIFICATE ISSUED BY REGISTERED STRUCTURAL ENGINEER AND APPLICANT/ALLOTTEE SHALL ALSO SUBMIT AN UNDERTAKING IN THE SHAPE OF AN AFFIDAVIT TO THE EFFECT THAT:-
 - a) THE ALLOTTEE SHALL BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF HIS/HER OWN STRUCTURE AS WELL AS ABUTTING BOOTHS/SHOPS.
 - b) THE ALLOTTEE SHALL ALSO BE RESPONSIBLE TO MAKE GOOD THE LOSS IF ANY SUSTAINED BY THE ALLOTTEE OF ABUTTING BOOTHS/SHOPS,HSVP OR ITS EMPLOYEES.
 - 2) a) POSITION OF STAIRCASE SHALL BE LEFT TO THE DISCRETION OF THE OWNER BUT WIDTH OF STAIR SHOULD NOT BE LESS THAN 0.885 MT., TREAD NOT LESS THAN 0.25 MT. AND RISER NOT MORE THAN 0.20 MT.
b) WINDERS IN STAIRCASE FOR APPROACHING FIRST FLOOR SHALL NOT BE ALLOWED.
 - 3) THE FIRST FLOOR PROPOSED ON SINGLE STOREY SHOPS SHALL EXCLUSIVELY BE USED FOR STORAGE ONLY AND FOR NO OTHER PURPOSES.
 - 4) FACADE SHALL BE STRICTLY ADHERED TO AS PER ARCHITECTURAL CONTROLS.

- NOTES:-
1. THESE DRGS. ARE THE PROPERTY OF THE H.S.V.P. AND MUST NOT BE ALTERED COPIED USED IN WHOLE OR IN PART THEREOF WITHOUT THE PERMISSION OF THE AUTHORITY IN WRITING.
 2. RESTRICTIONS CONTAINED IN THESE ARCHITECTURAL CONTROL SHEETS ARE IN ADDITION OF THE HARYANA BUILDING CODE 2017.
 3. AS PER CLAUSE 6.1 PART III OF HARYANA BUILDING CODE 2017 THESE ARCHITECTURAL CONTROL SHEETS SHALL HAVE PRECEDENCE OVER THE ZONING PLANS OR BUILDING REGULATIONS.
 4. NO DEVIATION IN EXTERNAL FACADE OR FACADE THROUGH CORRIDOR SHALL BE ALLOWED.
 5. INTERNAL PLANNING IS LEFT TO THE DISCRETION OF THE OWNER BUT SUBJECT TO THE PRIOR APPROVAL OF THE CHIEF ADMINISTRATOR HSVP.
 6. NO SUB DIVISION OF BOOTH /SERVICE SHOP IS ALLOWED.
 7. EXPOSED BRICK WORK SHALL BE 12MM X 18 MM (½" X ¾") JOINT EVENLY PACKED WITHOUT ANY COLOUR WASH.
 8. PLASTERED SURFACE SHALL BE WHITE WASHED UNLESS OTHERWISE SPECIFIED.
 9. BASEMENT SHALL BE COMPULSORY.
 10. NO BASEMENT SHALL BE ALLOWED BENEATH PUBLIC CORRIDOR.
 11. PROPER DAMP PROOF TREATMENT SHALL BE GIVEN TO THE RETAINING WALLS OF THE BASEMENT.
 12. BASEMENT SHALL BE USED FOR STORE, RECORD, GOODWINS, THE ONLY ACCESSORIES TO THE PRINCIPAL USE OF SITE AND FOR NO OTHER PURPOSE.
 13. THE PUBLIC CORRIDOR INDICATED IN THE DRG. SHALL BE LEFT UNOBSTRUCTED, UNHINDERED AND UNENCROACHED FOR THE EXCLUSIVE USE AS A PUBLIC PASSAGE.
 14. SPECIFICATION OF THE CORRIDOR SHALL BE STRICTLY IN ACCORDANCE WITH THE INDICATION SHOWN ON THE DRG. AND EXECUTED AND MAINTAINED BY THE OWNER TO THE ENTIRE SATISFACTION OF CHIEF ADMINISTRATOR H.S.V.P.
 15. IN CASE OF 0.23 M (9") THICK PARTY WALL NECESSARY STRUCTURAL R.C.C. COLUMNS AND BEAMS SHALL BE PROVIDED IF REQUIRED.
 16. NO ADVERTISEMENT SHALL BE ALLOWED IN SPACES OTHER THAN STIPULATED IN THE DRG.
 17. STRUCTURAL DESIGN SHALL BE OBTAINED BY THE OWNER AND ITS SAFETY SHALL BE HIS RESPONSIBILITY.
 18. ALL EXTERNAL R.C.C. COLUMNS SHALL BE FINISHED WITH STEEL SHUTTERING PATTERN AND NO COLOUR WASH SHALL BE GIVEN TO THESE COLUMNS.
 19. THE MEANS OF TAKING ELECTRICAL TELEPHONES OR ANY OTHER CONNECTION FROM THE PUBLIC SUPPLY LINES SHALL BE SHOWN ON BUILDING PLANS AND SHALL BE SUBJECT TO THE APPROVAL OF THE C.A. H.S.V.P.
 20. NO PORTION OF THE BUILDING OR ANY OTHER FEATURE SHALL PROJECT BEYOND THE PRESCRIBED TOP OF PARAPET.
 21. ALL DIMENSIONS ARE IN MTS.
 22. NO RAIN WATER PIPE SHALL BE PERMITTED ON THE FACADE OF THE BUILDING. ALL SUCH PIPES IN THE BUILDING SHALL BE PROPERLY ENCASED.
 23. WORKING DIMENSIONS ARE NOT TO BE SCALED ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
 24. IN CASE OF ANY DISCREPANCY REFER ARCHITECTURE WING H.S.V.P. FOR CLARIFICATIONS.
 25. PLINTH LEVEL IS TO BE OBTAINED FROM THE COMPETENT AUTHORITY.
 26. ONLY DULY QUALIFIED REGISTERED AND LICENSED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS SUPERVISE CONSTRUCTION AND ISSUE THE COMPLETION CERTIFICATE.



CONTD. DRG. NO.2

Sd/- J.GANESAN CHIEF ADMINISTRATOR			
Sd/- H.R.YADAV CHIEF ARCHITECT			
Sd/- RAJESH SEHGAL SENIOR ARCHITECT			
VACANT ARCHITECT			
Sd/- RACHNA VERMA ASSTT. ARCHITECT			
Sd/- CHECKED BY:			
Sd/- DEALT BY:			
ARCHITECTURE WING H.S.V.P. PANCHKULA			
JOB NO 3332/2-S	DRG. NO. 1/5	SCALE 1:50	DATE JULY'2018
PROJECT TITLE:- SERVICE SHOP ADJOINING BOOTHS WITH BASEMENT WITH STORAGE ON FIRST FLOOR SIZE:5.50X13.75/5.615X13.75M 2.75X8.25/2.865X8.25M .			
CONTENTS:- BASEMENT PLAN ELEVATION 'B'			

27. IN CASE OF ANY OTHER ADJOINING SITE HAVING BEEN ALREADY CONSTRUCTED BEFORE THE ISSUE OF THESE ARCHITECTURAL CONTROL SHEETS, THE OWNER OF THE SITES WILL HAVE TO PRODUCE A CERTIFICATE OF THE STRUCTURAL SAFETY FROM A QUALIFIED ENGINEER TO THE SANCTIONING AUTHORITY TO SATISFY THAT FOUNDATION & STRUCTURE OF THE EXISTING BUILDING SHALL BE FULLY SAFE IN ALL RESPECT.

28. SPACE PROVIDED FOR STORAGE ABOVE THE CORRIDOR SHALL BE EXCLUSIVELY USED FOR STORAGE ONLY AND FOR NO OTHER PURPOSE.

29. FIRE FIGHTING PROVISIONS SHALL BE MADE AS PER N.B.C./I.S.I. SPECIFICATIONS AND TO THE SATISFACTION OF LOCAL FIRE OFFICER. ALL THESE MEASURES SHALL BE PROVIDED AND SHALL BE HIS RESPONSIBILITY. THE SAME SHALL BE SHOWN ON THE PLAN WHILE SUBMITTING THE DRGS. FOR SANCTION WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER.

30. STORAGE MATERIAL IN THE BASEMENT SHALL BE IN ACCORDANCE TO THE PROVISIONS OF THE NATIONAL BUILDING CODE.

31. EARTHQUAKE PROOF STRUCTURE SHALL BE DESIGNED AND ENSURED BY THE QUALIFIED STRUCTURAL ENGINEER AND IT SHALL BE AS PER NATIONAL BUILDING CODE REQUIREMENT.

32. WHILE SANCTIONING AND GIVING COMPLETION THE SANCTIONING AND COMPLETION ISSUING AUTHORITIES SHALL ENSURE THAT ALL THE SAFETY PROVISIONS HAVE BEEN PROVIDED AS PER N.B.C. AND TO THE SATISFACTION OF LOCAL FIRE OFFICER.

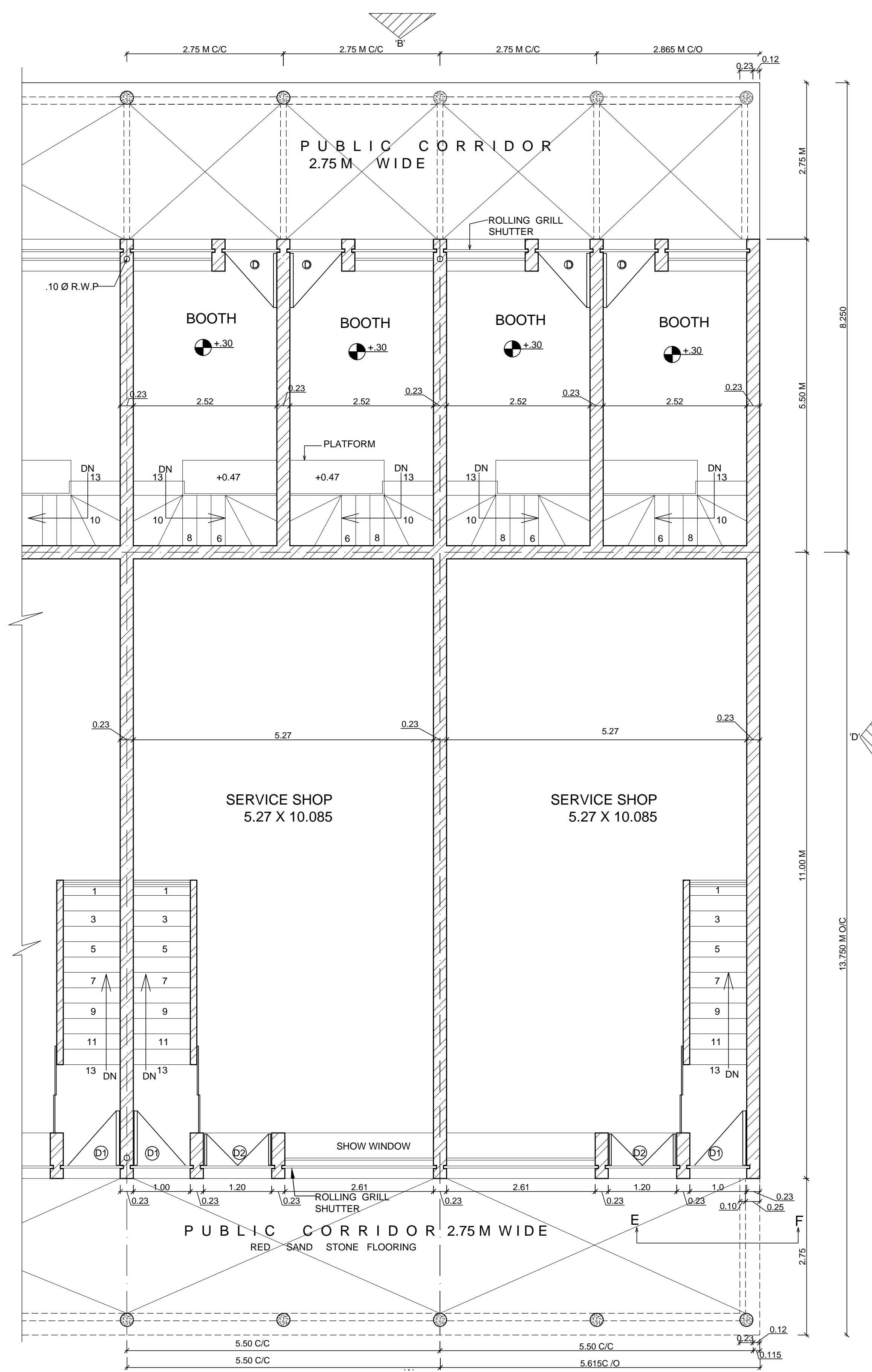
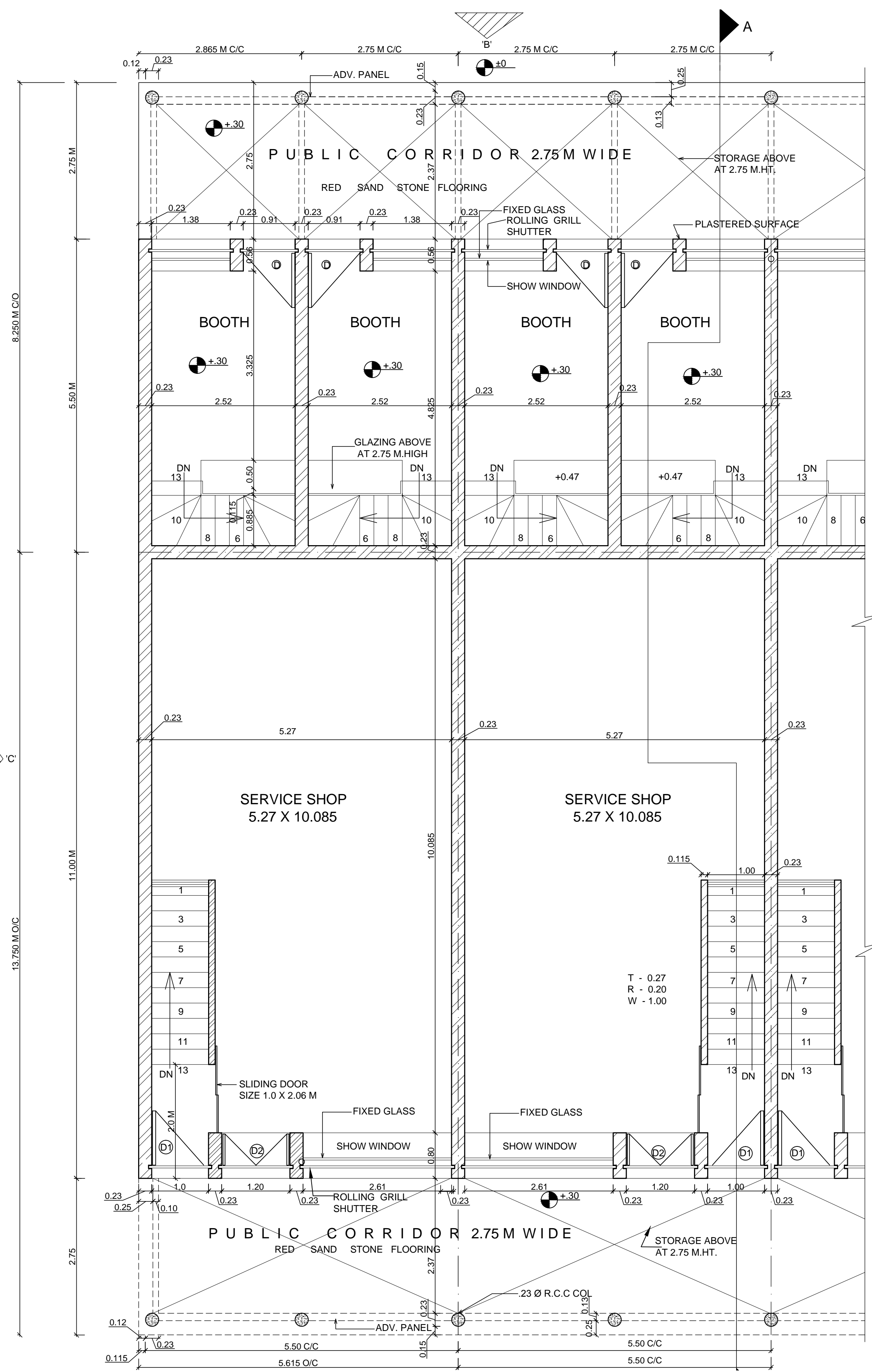
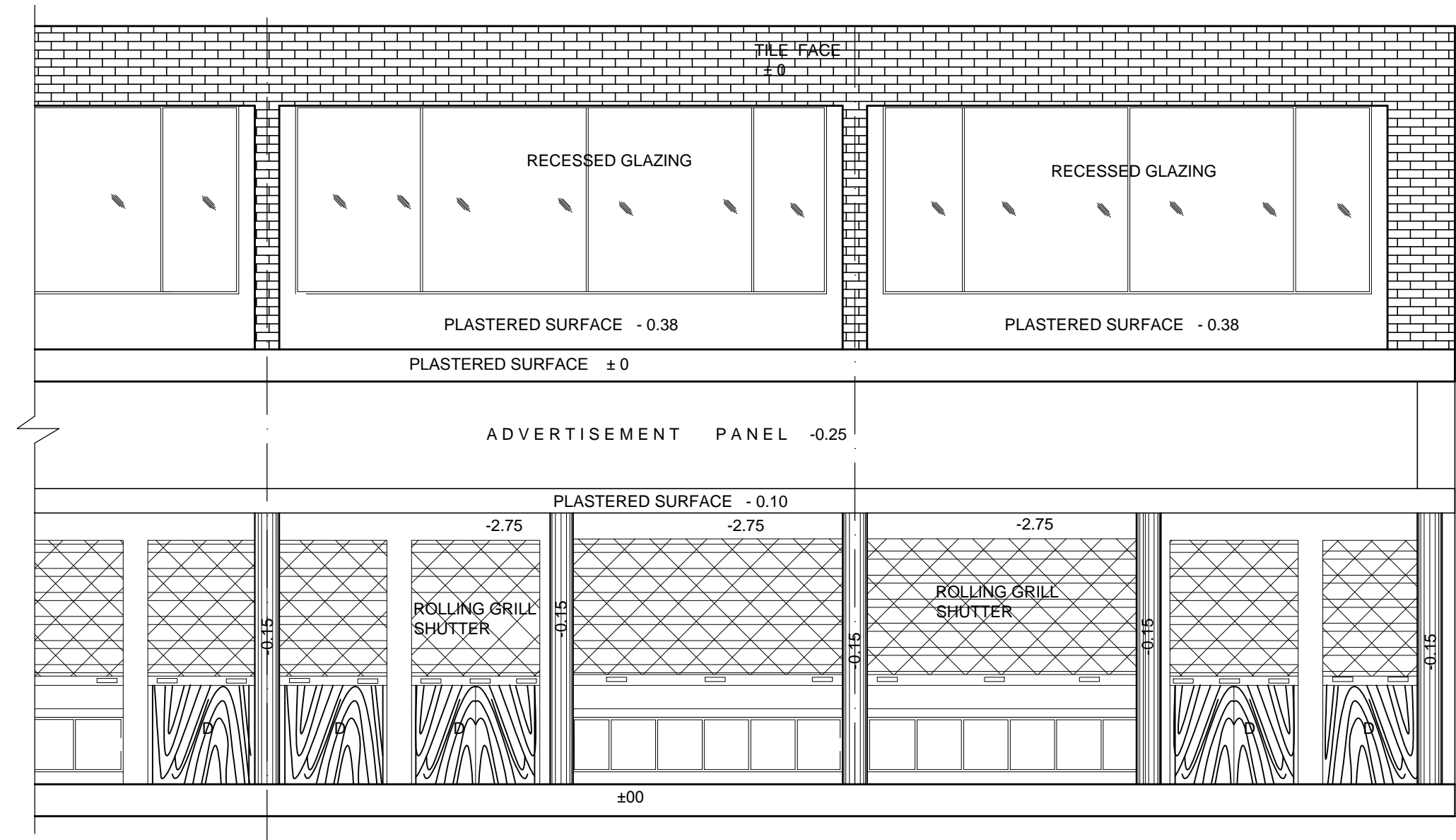
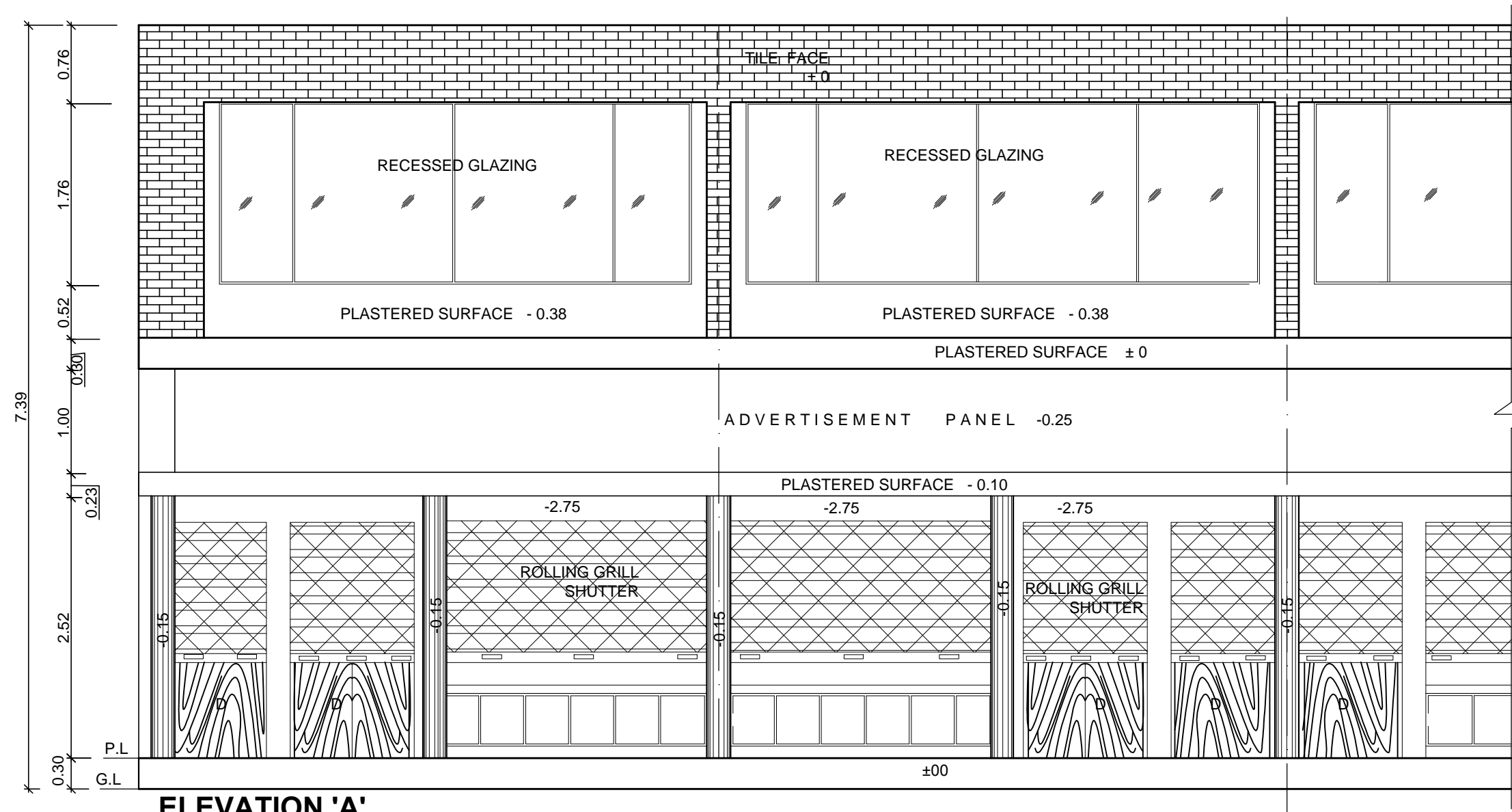
33. THE SPECIFICATIONS OF MATERIAL ON EXTERNAL FACADE SHALL BE STRICTLY ADHERED TO.

34. WHEREVER H.S.V.P. BYE LAWS ARE SILENT NATIONAL BUILDING CODE SHALL BE FOLLOWED.

35. RAIN WATER PIPES SHALL BE PROVIDED BY THE OWNER AS PER EXISTING SITE CONDITIONS.

36. THE SET CONTAINS 5 NO. OF DRGS.

37. DRGS. APPROVED BY CA. H.S.V.P. DT.23-7-2018.



Sd/-
J.GANESAN
CHIEF ADMINISTRATOR

Sd/-
H.R.YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

Sd/-
CHECKED BY:

Sd/-
DEALT BY:

ARCHITECTURE WING
H.S.V.P. PANCHKULA

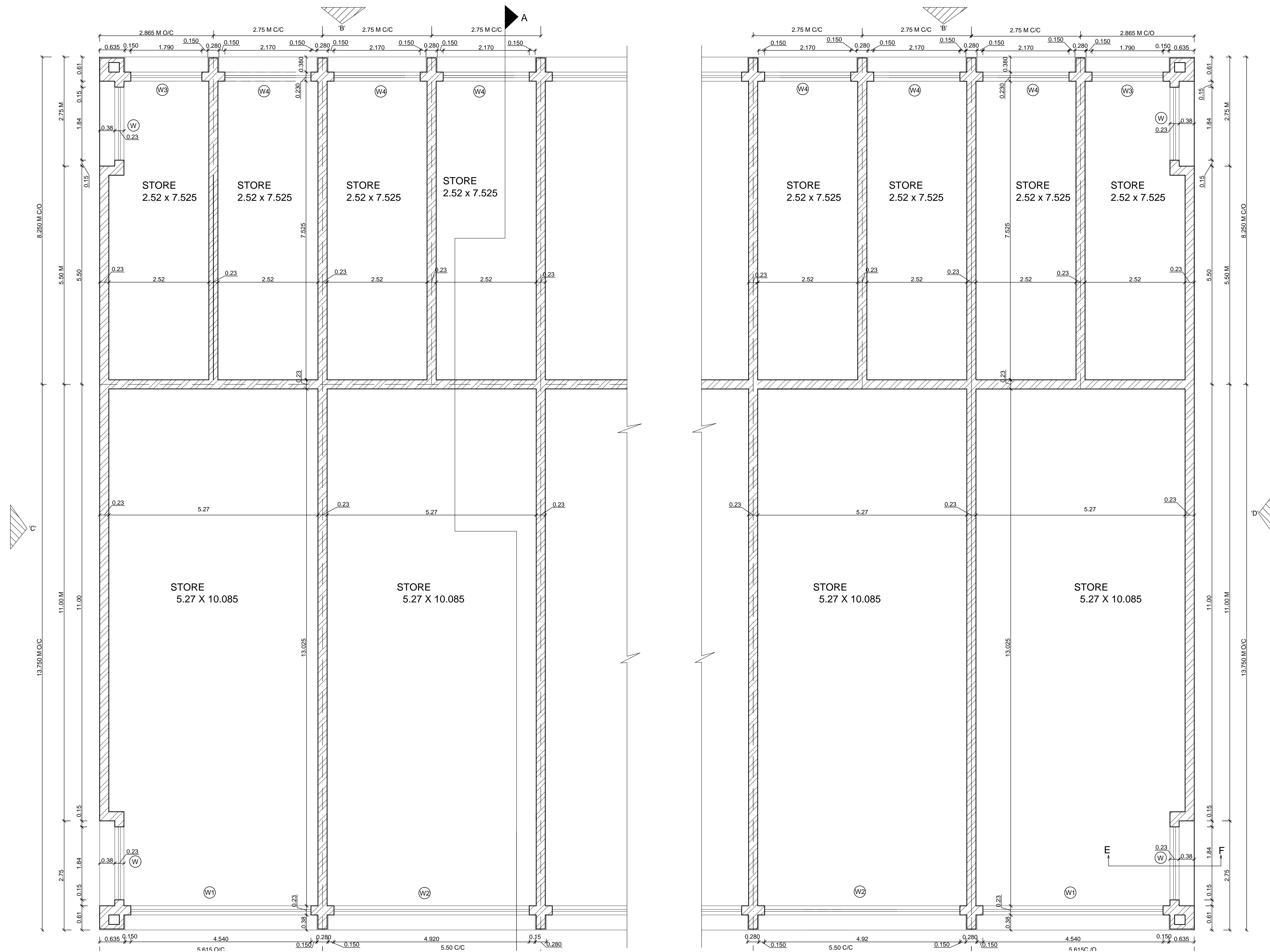
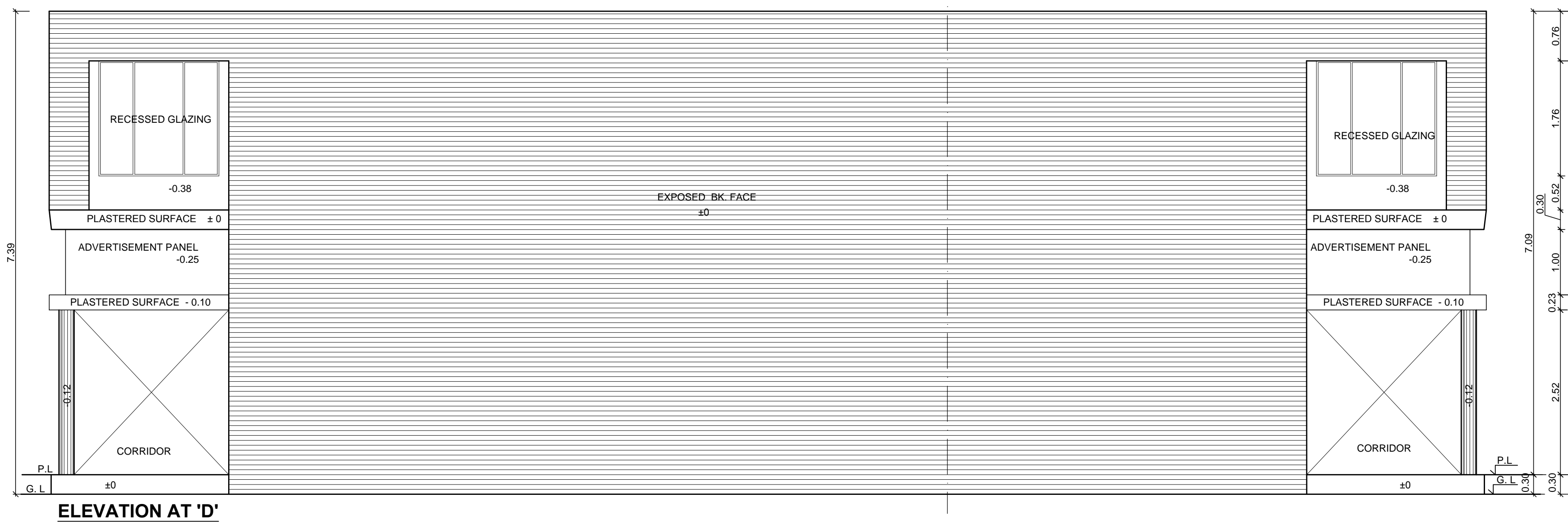
JOB NO	DRG. NO.	SCALE	DATE
3332/2-S	2/5	1:50	JULY'2018

PROJECT TITLE:
SERVICE SHOP ADJOINING BOOTHS WITH BASEMENT WITH STORAGE ON FIRST FLOOR.
SIZE: 5.50X13.75/5.615X13.75M
2.75X8.25/2.865X8.25M

CONTENTS:-

HSVP

SCHEDULE OF JOINERY			
TYPE	SIZE	CILL	TOP
D	0.91 X 2.28	-	2.28
D1	1.00 X 2.28	-	2.28
D2	1.20 X 2.28	-	2.28
V	1.38 X 0.46	0.15	0.61
V1	2.61 X 0.46	0.15	0.61
W	1.84 X 1.76	0.69	2.45
W1	4.54 X 1.76	0.69	2.45
W2	4.92 X 1.76	0.69	2.45
W3	1.79 X 1.76	0.69	2.45
W4	2.17 X 1.76	0.69	2.45



Sd/-
J.GANESAN
CHIEF ADMINISTRATOR

Sd/-
H.R.YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

Sd/-
CHECKED BY:

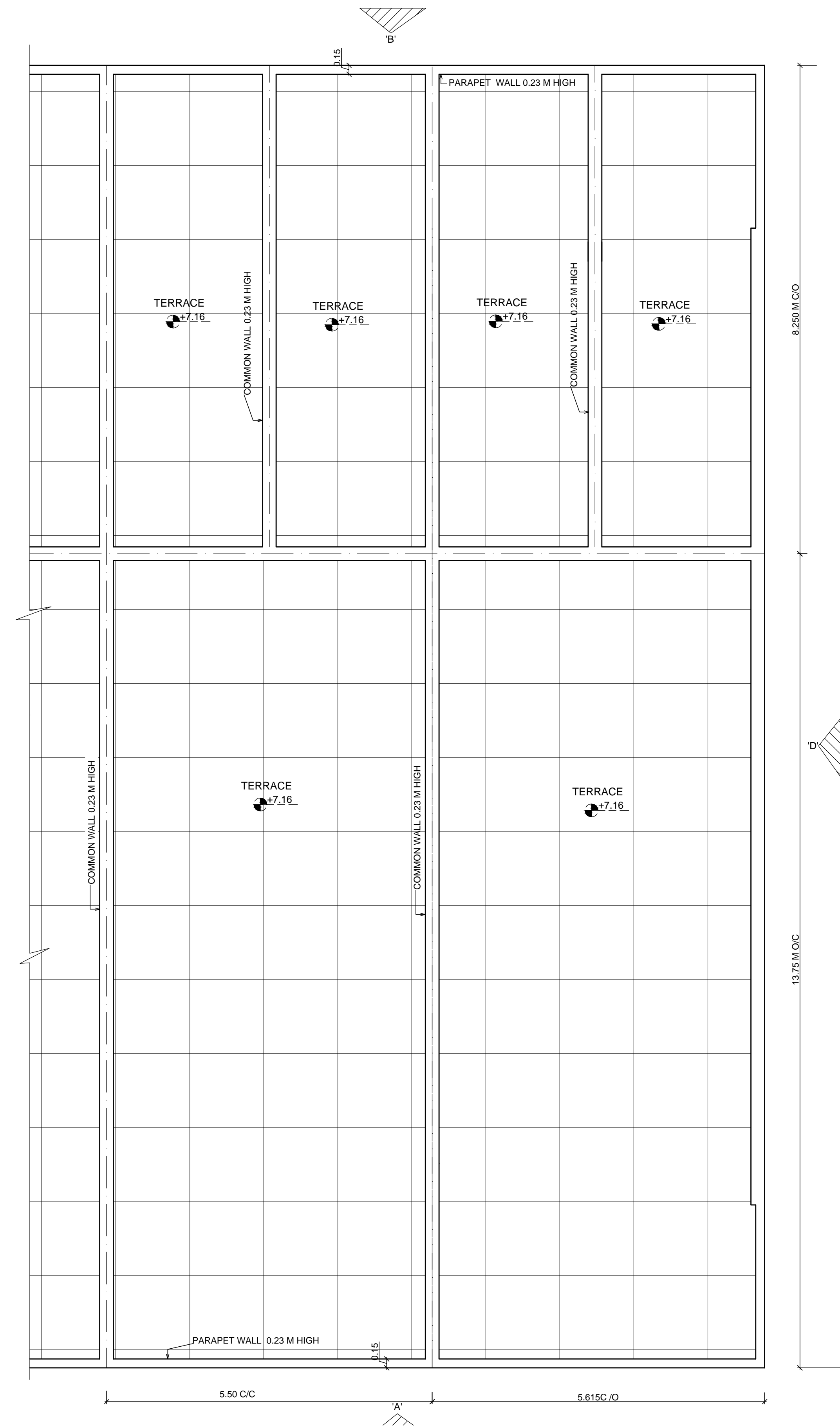
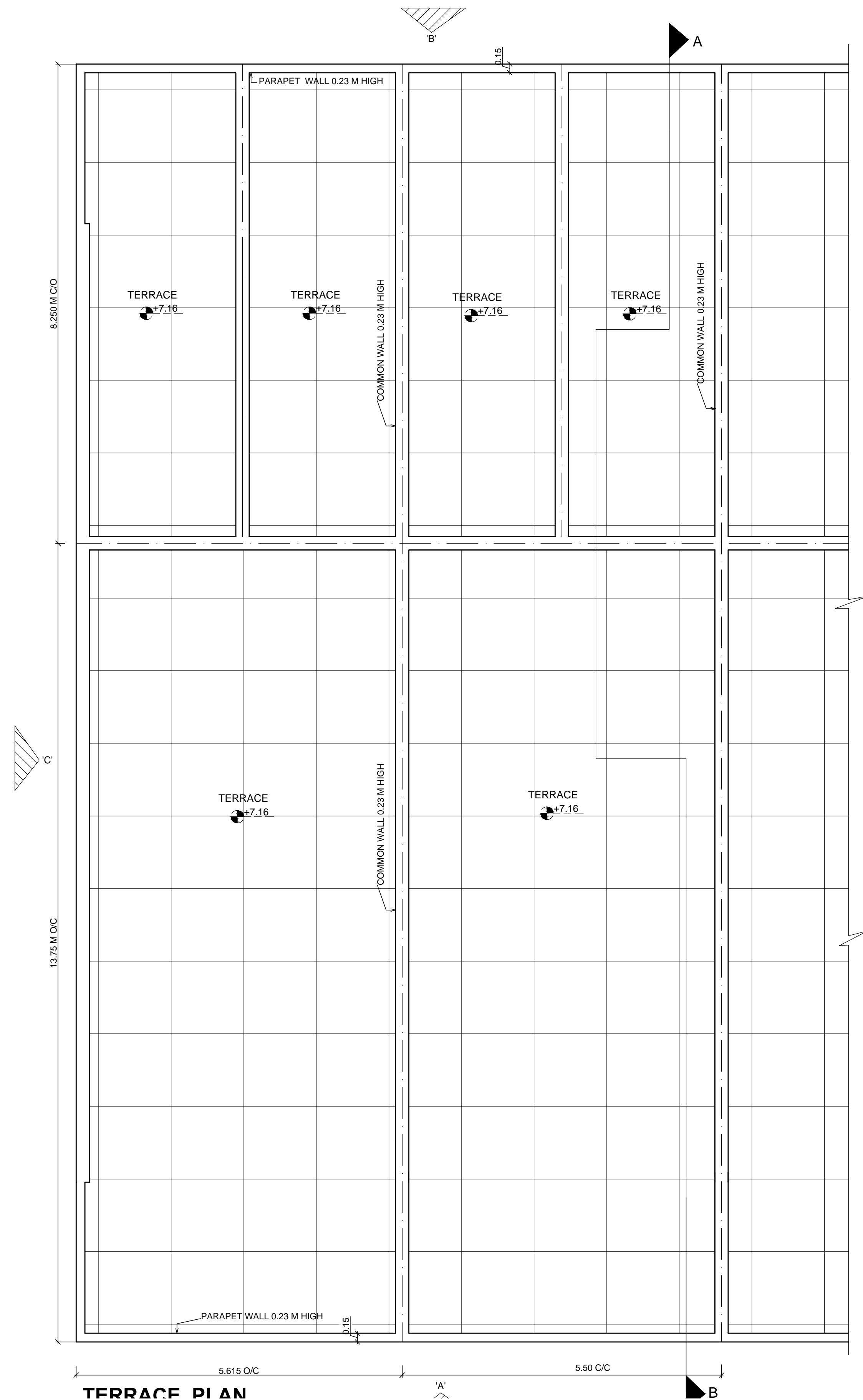
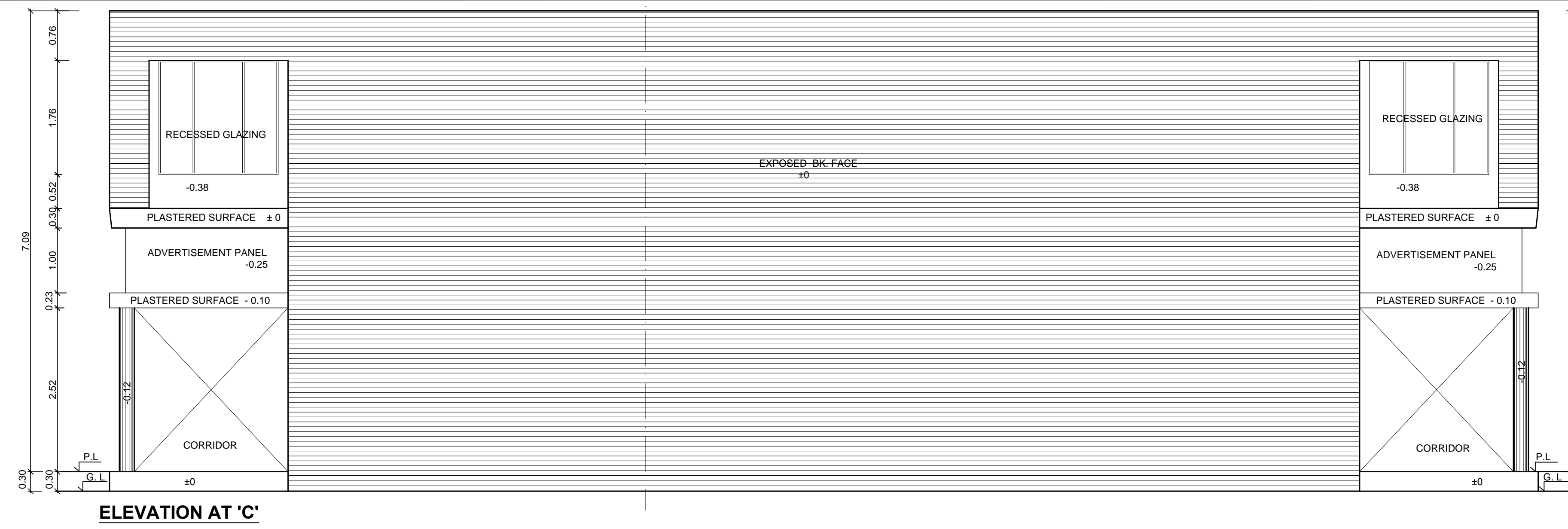
Sd/-
DEALT BY:

**ARCHITECTURE WING
H.S.V.P. PANCHKULA**

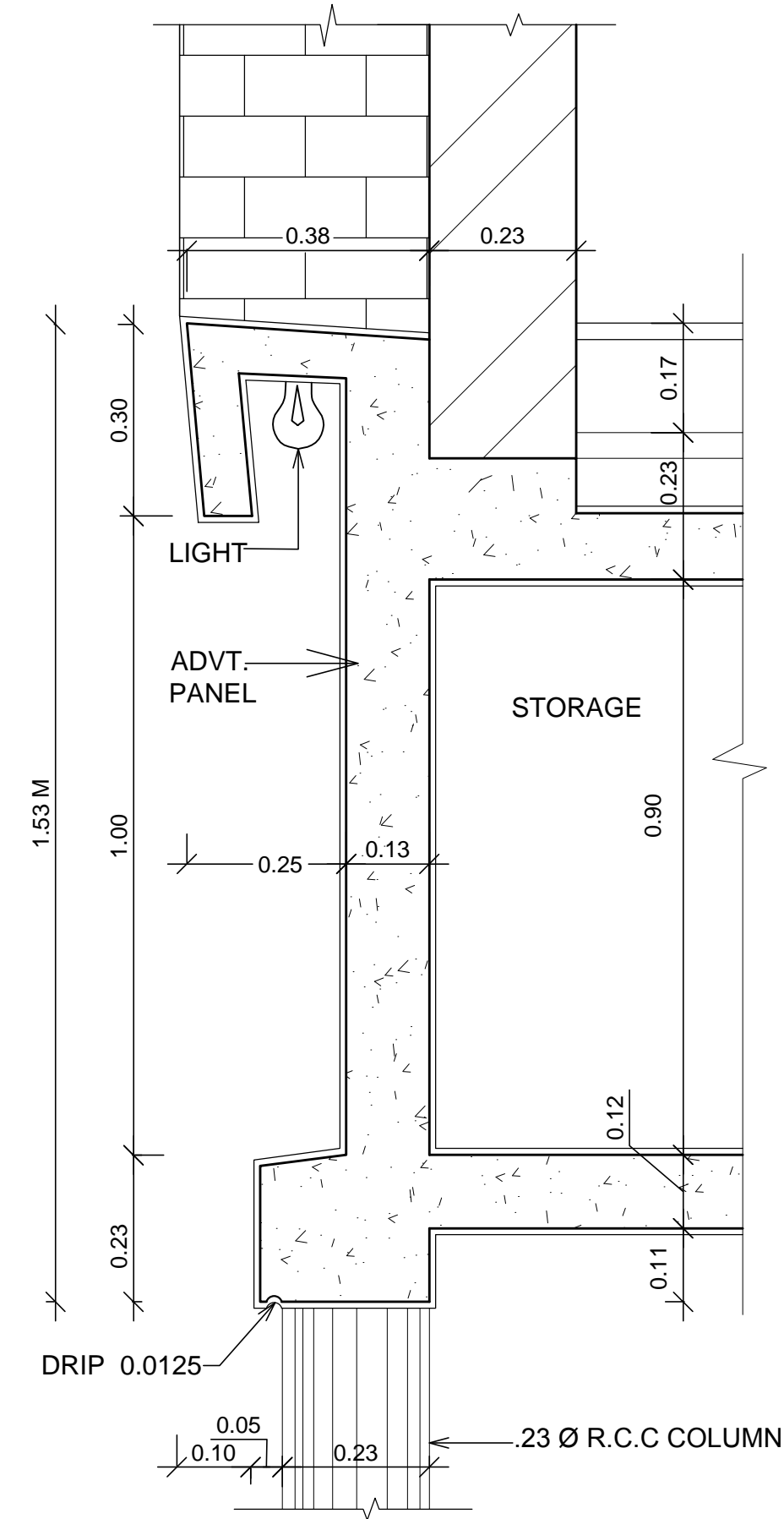
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PROJECT TITLE:-
**SERVICE SHOP ADJOINING BOOTHS
WITH BASEMENT WITH STORAGE ON
FIRST FLOOR.**
SIZE: 5.50X13.75/5.615X13.75M
2.75X8.25M/2.865X8.25M

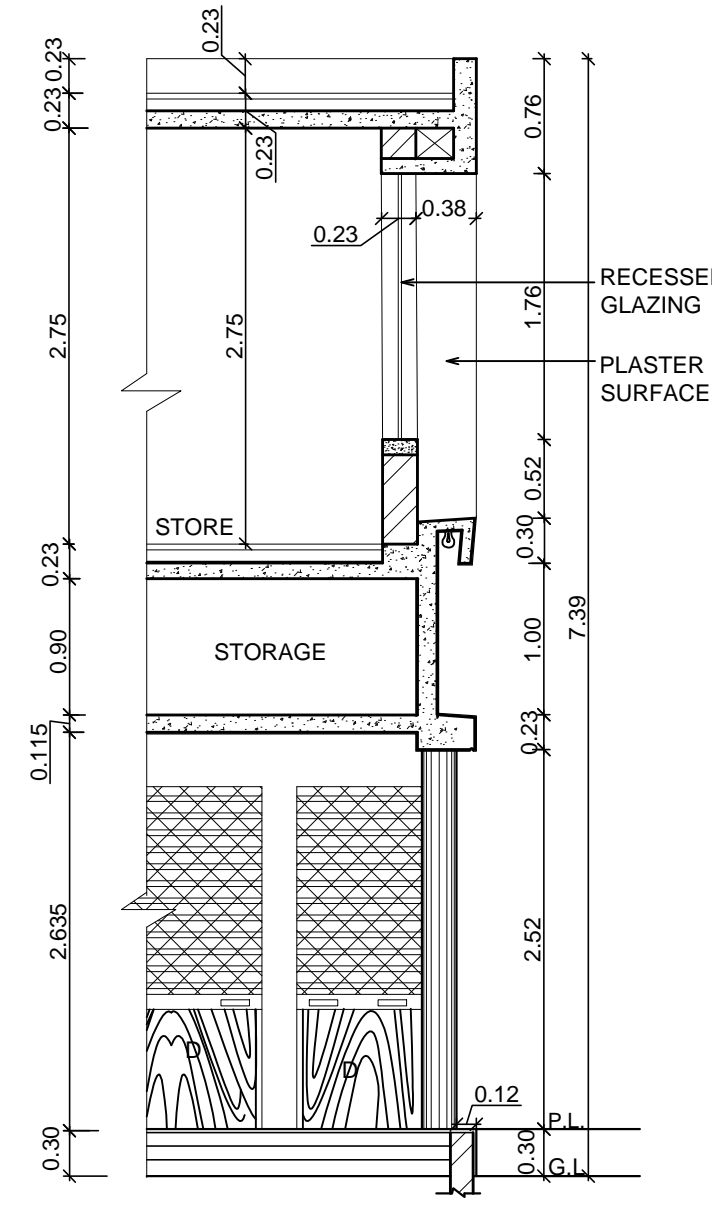
CONTENTS:-
FIRST FLOOR PLAN



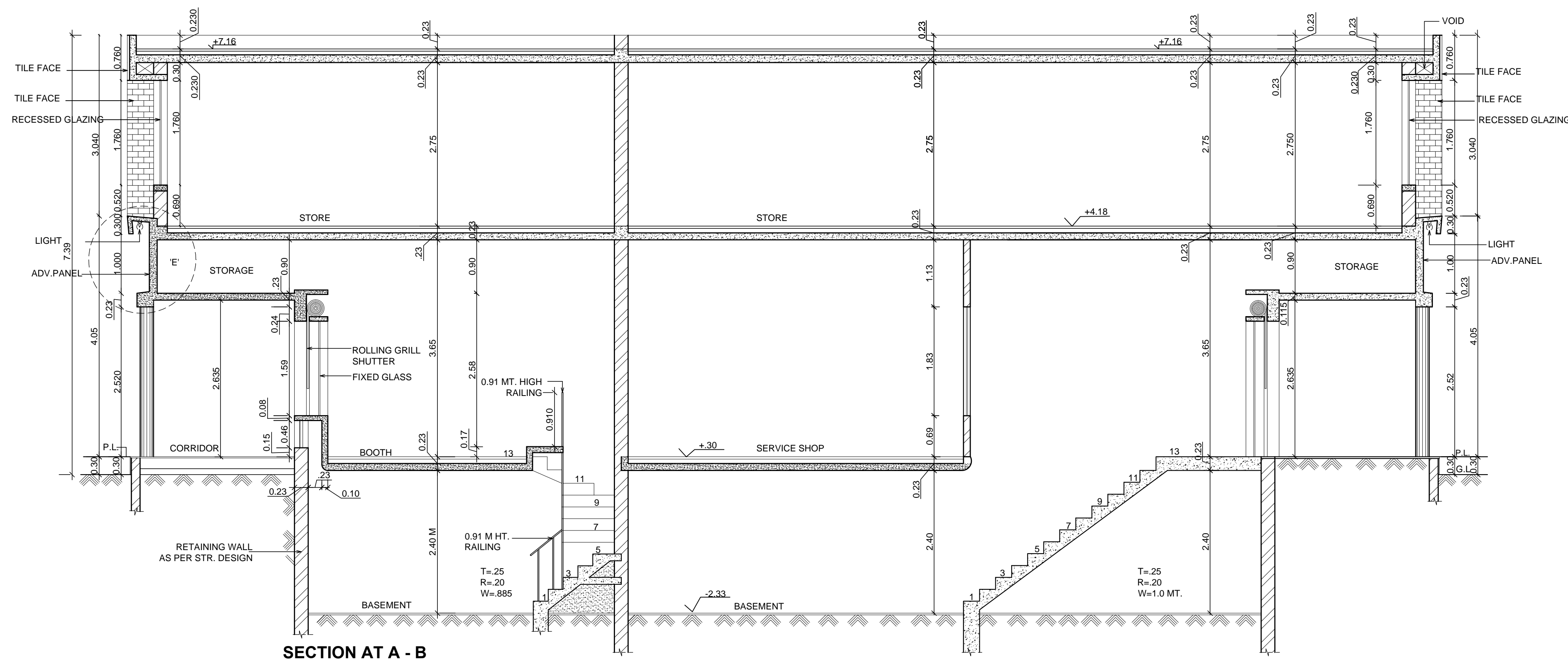
Sd/- J.GANESAN CHIEF ADMINISTRATOR			
Sd/- H.R.YADAV CHIEF ARCHITECT			
Sd/- RAJESH SEHGAL SENIOR ARCHITECT			
VACANT ARCHITECT			
Sd/- RACHNA VERMA ASSTT. ARCHITECT			
Sd/- CHECKED BY:			
Sd/- DEALT BY:			
ARCHITECTURE WING H.S.V.P. PANCHKULA			
JOB NO	DRG. NO.	SCALE	DATE
3332/2-S	4/5	1:50	JULY,2018
PROJECT TITLE: SERVICE SHOP ADJOINING BOOTHS WITH BASEMENT WITH STORAGE ON FIRST FLOOR.			
SIZE: 5.50X13.75/5.615X13.75M 2.75X8.25/2.865X8.25M.			
CONTENTS:- TERRACE PLAN & ELEVATION AT 'C'			



DETAIL AT 'E'
SCALE: 1:10



SECTION AT E-F
SCALE 1:50



SECTION AT A - B

Sd/-
J.GANESAN
CHIEF ADMINISTRATOR

Sd/-
H.R.YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

Sd/-
CHECKED BY:

Sd/-
DEALT BY:

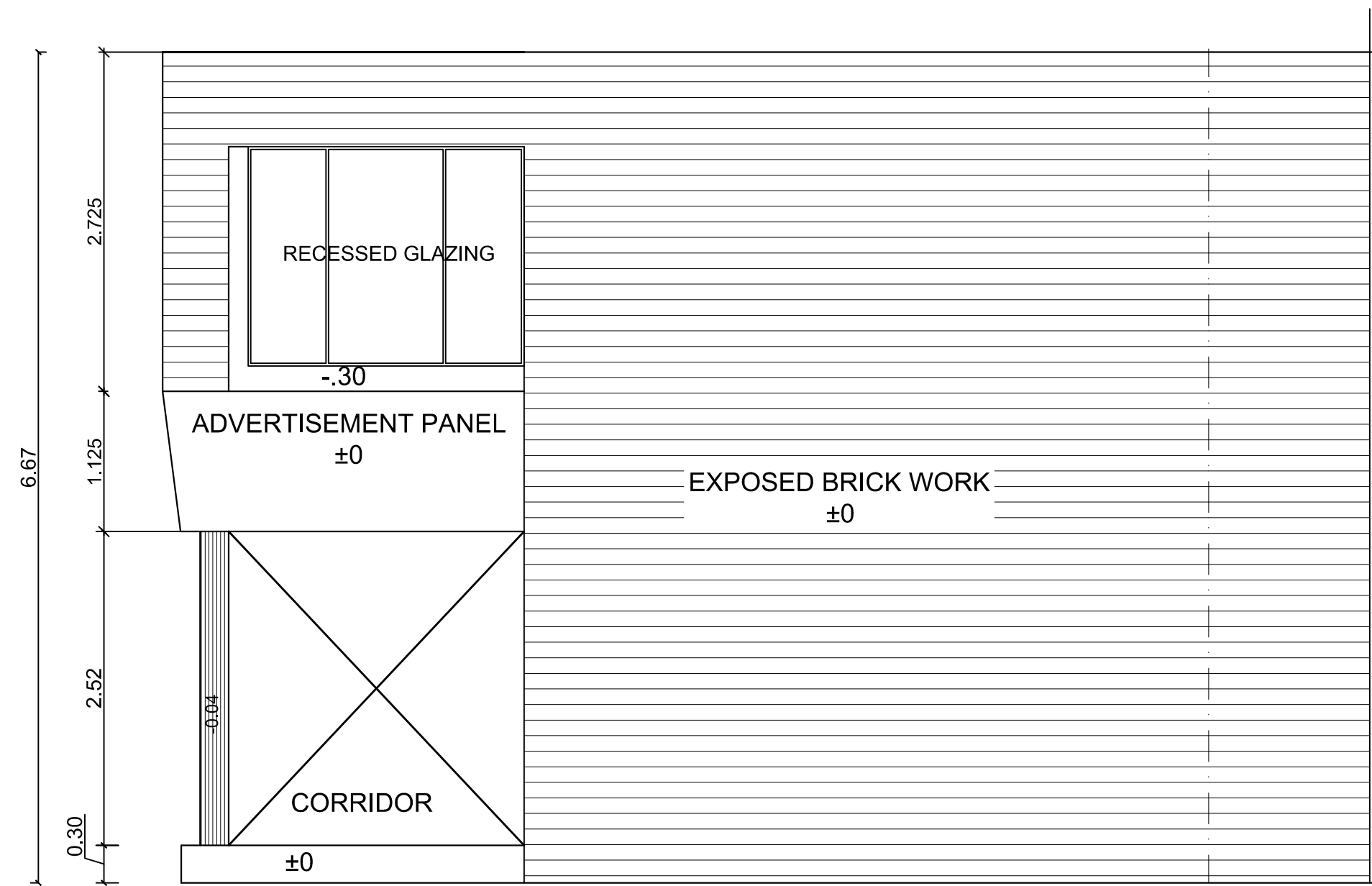
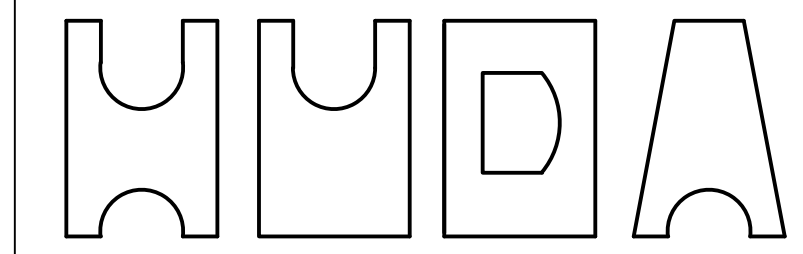
ARCHITECTURE WING
H.S.V.P. PANCHKULA

JOB NO	DRG. NO.	SCALE	DATE
3332/2-S	5/5	1:50	JULY,2018

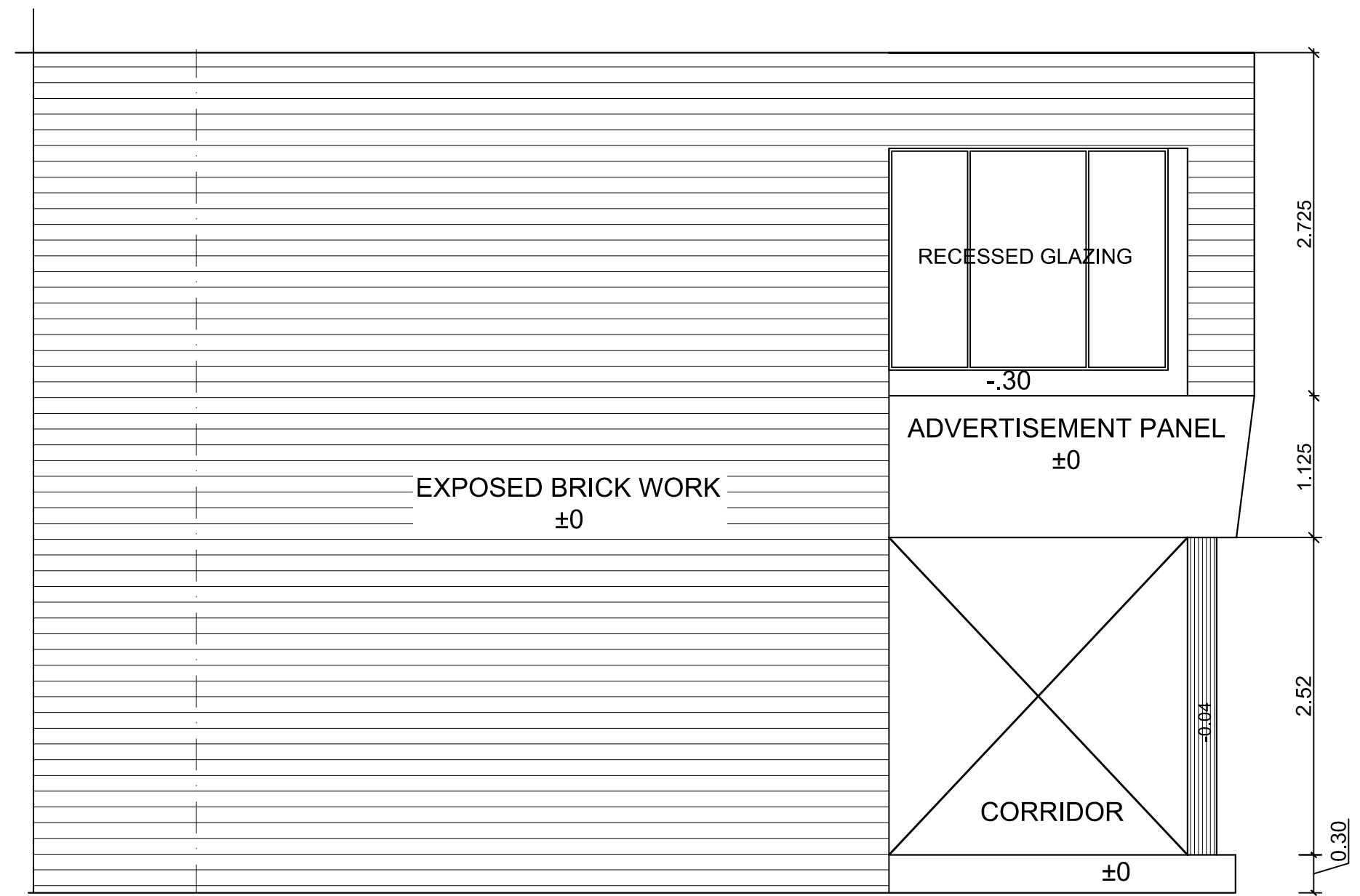
PROJECT TITLE:
SERVICE SHOP ADJOINING BOOTHS WITH BASEMENT WITH STORAGE ON FIRST FLOOR.
SIZE: 5.50X13.75/5.615X13.75M
2.75X8.25/2.865X8.25M.

CONTENTS:-
SECTION AT A - B SECTION AT E - F

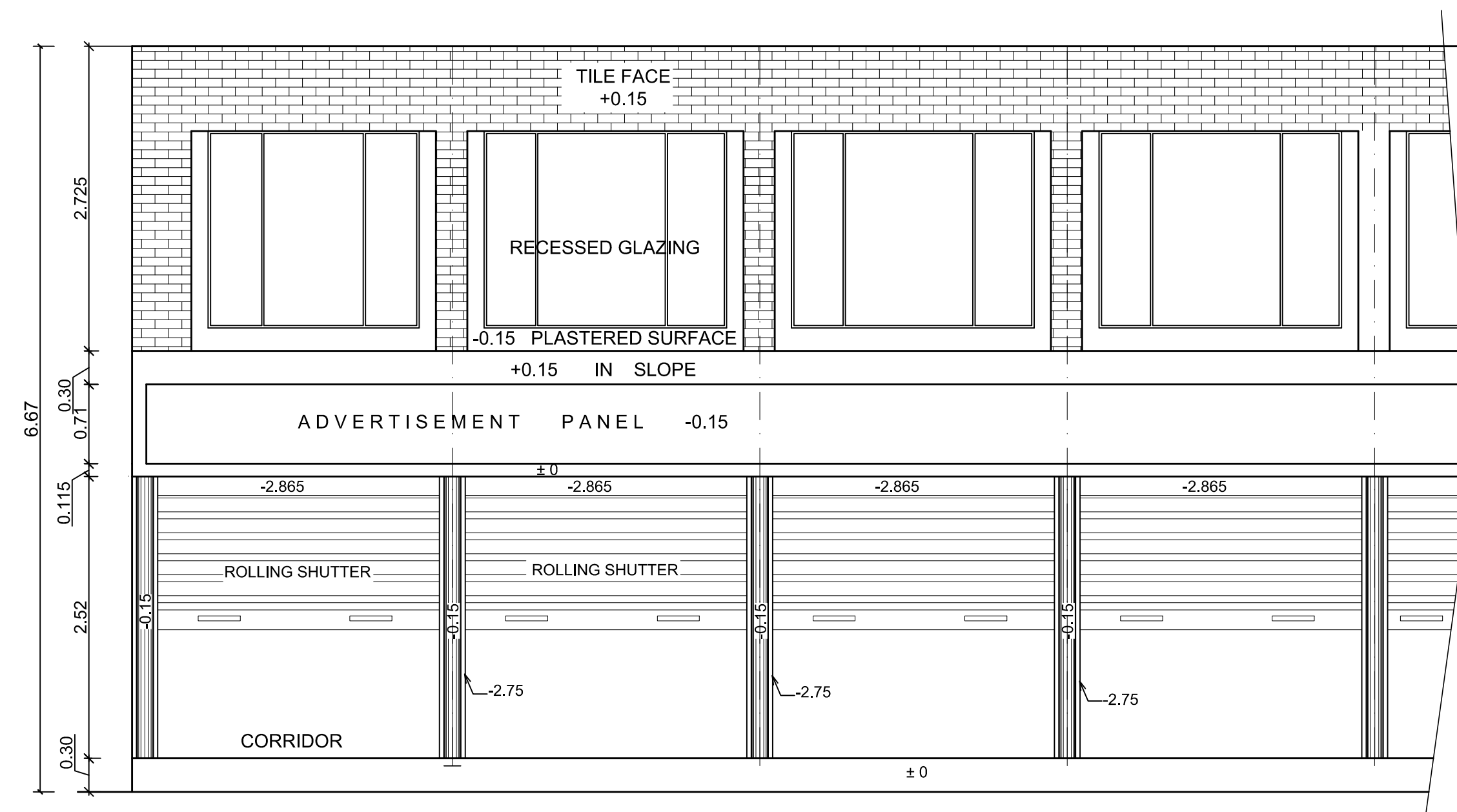
1. PROVISION OF FIRST FLOOR HAS BEEN APPROVED IN THE 112TH MEETING OF HUDA HELD ON 10.01.2017 AS PER AGENDA ITEM NO.A-112TH (20).
2. THIS JOB IS TO BE READ W.R.T. **JOB NO. 2050-A/2068-A** FOR THE PROVISION OF STORAGE ON FIRST FLOOR.
3. STAIRCASE SHALL BE AS PER ADDITIONAL CLAUSE NO.2 ON DRAWING NO 1.



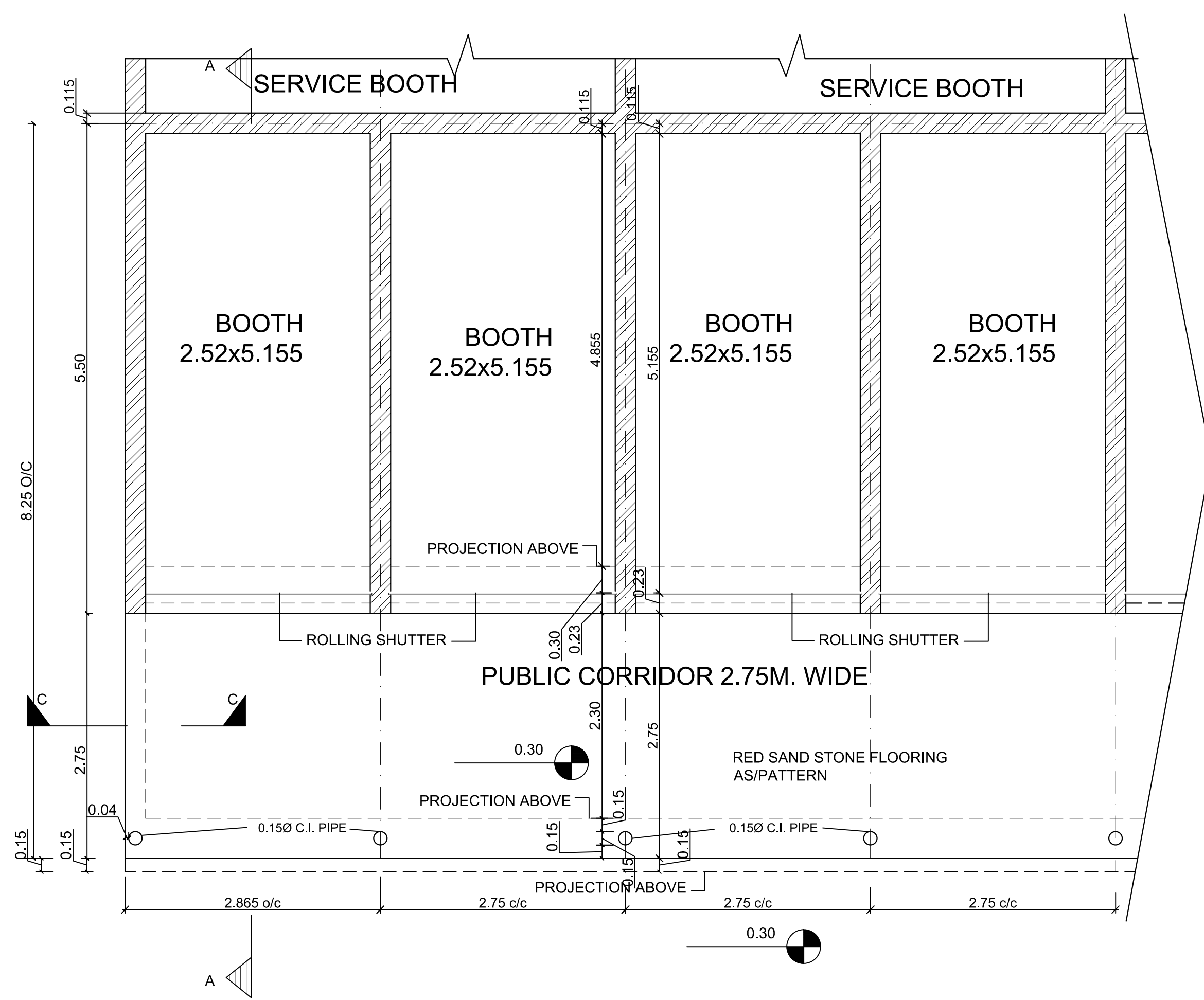
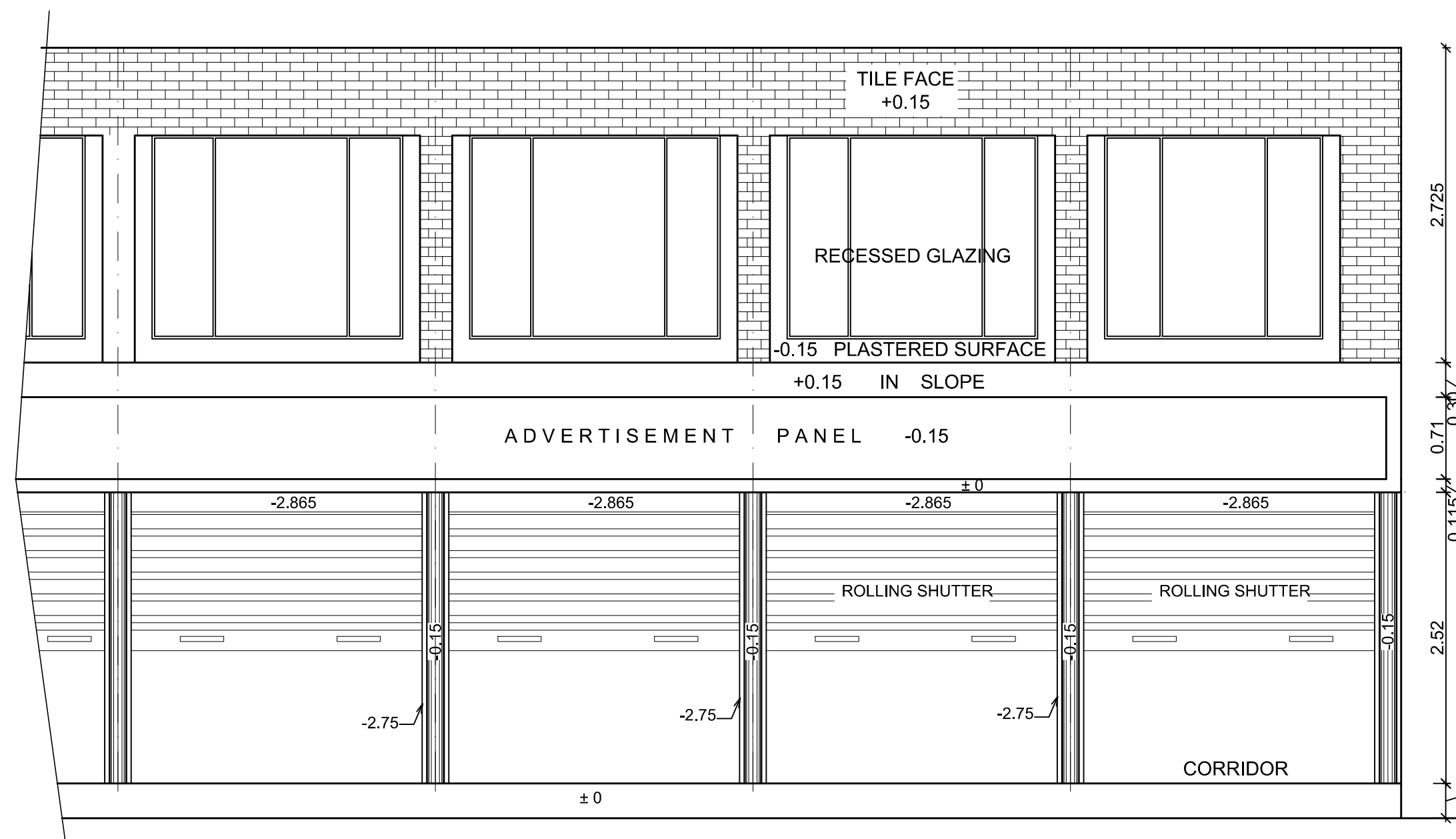
RIGHT SIDE ELEVATION



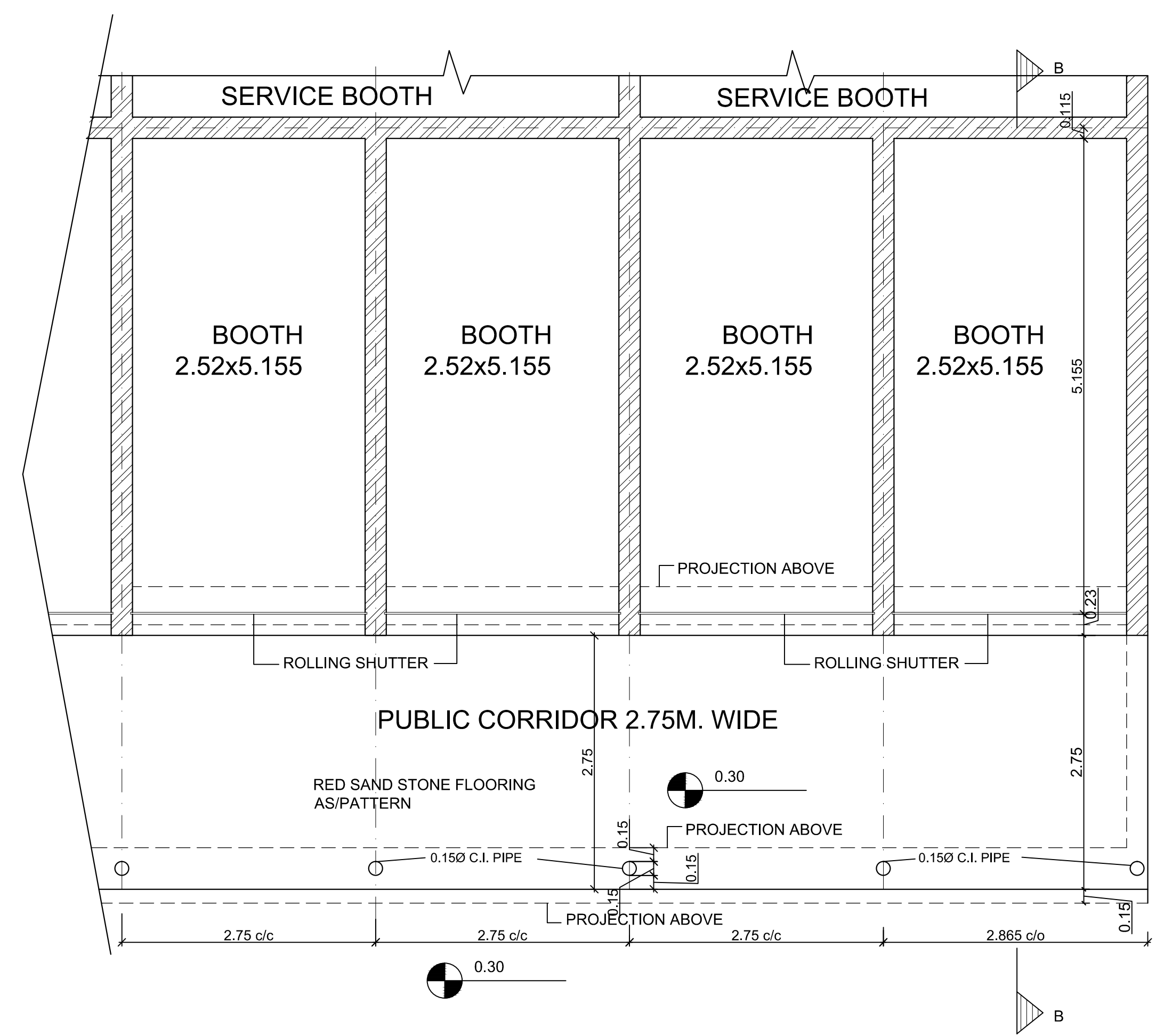
LEFT SIDE ELEVATION



FRONT ELEVATION



GROUND FLOOR PLAN



ADDITIONAL CLAUSES:-

- 1) **SANCTION OF BUILDING PLAN:** - BEFORE THE COMMENCEMENT OF THE CONSTRUCTION, THE ALLOTTEE OF SINGLE STOREY SHOPS SHALL GET THE BUILDING PLAN OF FIRST FLOOR SANCTIONED FROM CONCERNED ESTATE OFFICER, HUDA. THE BUILDING PLAN SHALL BE ACCOMPANIED WITH 'STRUCTURAL STABILITY CERTIFICATE' ISSUED BY REGISTERED STRUCTURE ENGINEER AND APPLICANT/ ALLOTTEE SHALL ALSO SUBMIT AN UNDERTAKING IN THE SHAPE OF AN AFFIDAVIT TO THE EFFECT THAT:-
 - a) THE ALLOTTEE SHALL BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF HIS/HER OWN STRUCTURE AS WELL AS ABUTTING BOOTHS/SHOPS.
 - b) THE ALLOTTEE SHALL ALSO BE RESPONSIBLE TO MAKE GOOD THE LOSS, IF ANY, SUSTAINED BY THE ALLOTTEES OF ABUTTING BOOTHS/SHOPS, HUDA OR ITS EMPLOYEES.
- 2) a) POSITION OF STAIRCASE SHALL BE LEFT TO THE DISCRETION OF OWNER BUT WIDTH OF STAIR SHOULD NOT BE LESS THAN 0.885 MT, TREAD NOT LESS THAN 0.25 MT AND RISER NOT MORE THAN 0.20 MT.
 - b) WINDERS IN STAIRCASE FOR APPROACHING FIRST FLOOR SHALL NOT BE ALLOWED.
- 3) THE FIRST FLOOR PROPOSED ON SINGLE STOREY SHOPS SHALL EXCLUSIVELY BE USED FOR STORAGE PURPOSE ONLY AND FOR NO OTHER PURPOSES.
- 4) FACADE SHALL BE STRICTLY ADHERED TO AS PER ARCHITECTURAL CONTROL.

NOTES :-

1. THESE DRGS ARE THE PROPERTY OF THE H.U.D.A.S MUST NOT BE ALTERED COPIED OR USED IN WHOLE OR IN PART THERE OF WITHOUT THE PERMISSION OF THE AUTHORITY IN WRITING .
2. RESTRICTIONS CONTAINED IN THESE ARCHITECTURAL CONTROL SHEETS ARE IN ADDITION TO THE HARYANA BUILDING CODE 2017 .
3. ALL DIMENSION ARE IN METRES.
4. INTERNAL PLANNING IS LEFT TO THE DISCRETION OF THE OWNER BUT SUBJECT TO THE PRIOR APPROVAL OF C.A. H.U.D.A.
5. EXPOSED BRICK WORK SHALL MEAN FAIR FACE BK.WORK WITHOUT ANY PAINT OR COLOUR WASH EXCEPT DEEP RAKED FINISHING.
6. THE PUBLIC CORRIDOR INDICATED IN THE DRG. SHALL BE LEFT UNSTRUCTURED UNWINDERS & UNENCROACHED FOR EXCLUSIVE USE AS A PUBLIC PASSAGE. THE SPECIFICATION OF THE CORRIDOR SHALL STRICTLY IN ACCORDANCE WITH THE INDICATION SHOWN ON THE DRG & EXECUTED & MAINTAINED BY THE OWNER TO THE ENTIRE SATISFACTION OF THE C.A. H.U.D.A.
7. NO ADVERTISEMENT SHALL BE ALLOWED IN SPACES OTHER THAN THOSE STIPULATED ON THE DRG.
8. NO PORTION OF THE BUILDING OR ANY OTHER FEATURE SHALL PROJECT BEYOND THE PRESCRIBED TOP OF PARAPET.
9. a) NO RAIN WATER OR ANY OTHER PIPE SHALL BE PERMITTED ON EXTERNAL FACADE OF THE BUILDING. AS SUCH PIPES IN THE BLDG. PLAN SHALL BE PROPERLY ENCASED.
9. b) RAIN WATER PIPES SHALL BE PROVIDED BY OWNER AS PER EXISTING SITE CONDITION.
10. THE MEANS OF TAKING ELECTRICAL, TELEPHONES OR ANY OTHER CONNECTION FROM THE PUBLIC SUPPLY LINES SHALL BE SHOWN ON THE BLDG. PLANS & SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE C.A. H.U.D.A.
11. THE END WALL SHALL BE 0.23M. & SHALL BE PROPERLY CONSTRUCTED WITH 18 CLASS BRICK IN CEMENT SAND MORTAR 1:4 & SHALL HAVE ADEQUATE FOUNDATIONS TO THE SATISFACTION OF THE C.A. H.U.D.A.
12. EXTERNAL ROLLING SHUTTER SHALL BE PAINTED IN GREY COLOUR OF ISI 693 ONLY.
13. NO SUB DIVISION OF PLOT/SHOP IS ALLOWED.
14. ONLY DULY QUALIFIED REGISTERED & LICENSED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION & ISSUE THE COMPLETION CERTIFICATE.
15. PLINTH LEVEL IS TO BE OBTAINED FROM THE COMPETENT AUTHORITY.
16. PLASTERED SURFACE IF SHOWN ON THE DRG. SHALL BE WHITE WASHED UNLESS OTHER WISE SPECIFIED.
17. NO BASEMENT SHALL BE ALLOWED.
18. WORKING DIMENSIONS ARE NOT TO BE SCALED ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.

CONTD. ON SHEET NO. 2

Sd/-
J.GANESAN (I.A.S)
CHIEF ADMINISTRATOR

Sd/-
H.R.YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT.Architect

**ARCHITECTURE WING
H.U.D.A PANCHKULA**

CHECKED BY:-

DEALT BY: PRATIBHA BANSAL

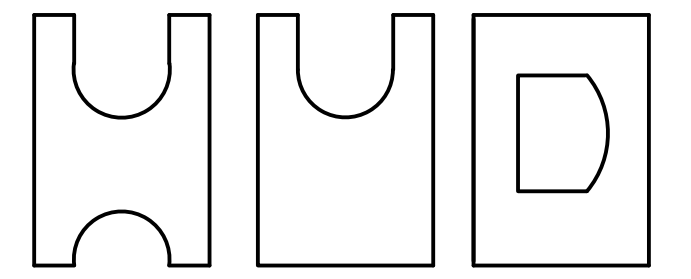
JOB NO	DATE	SCALE	DRG. NO.
3321	2017	1:50	1/2

PROJECT TITLE:-

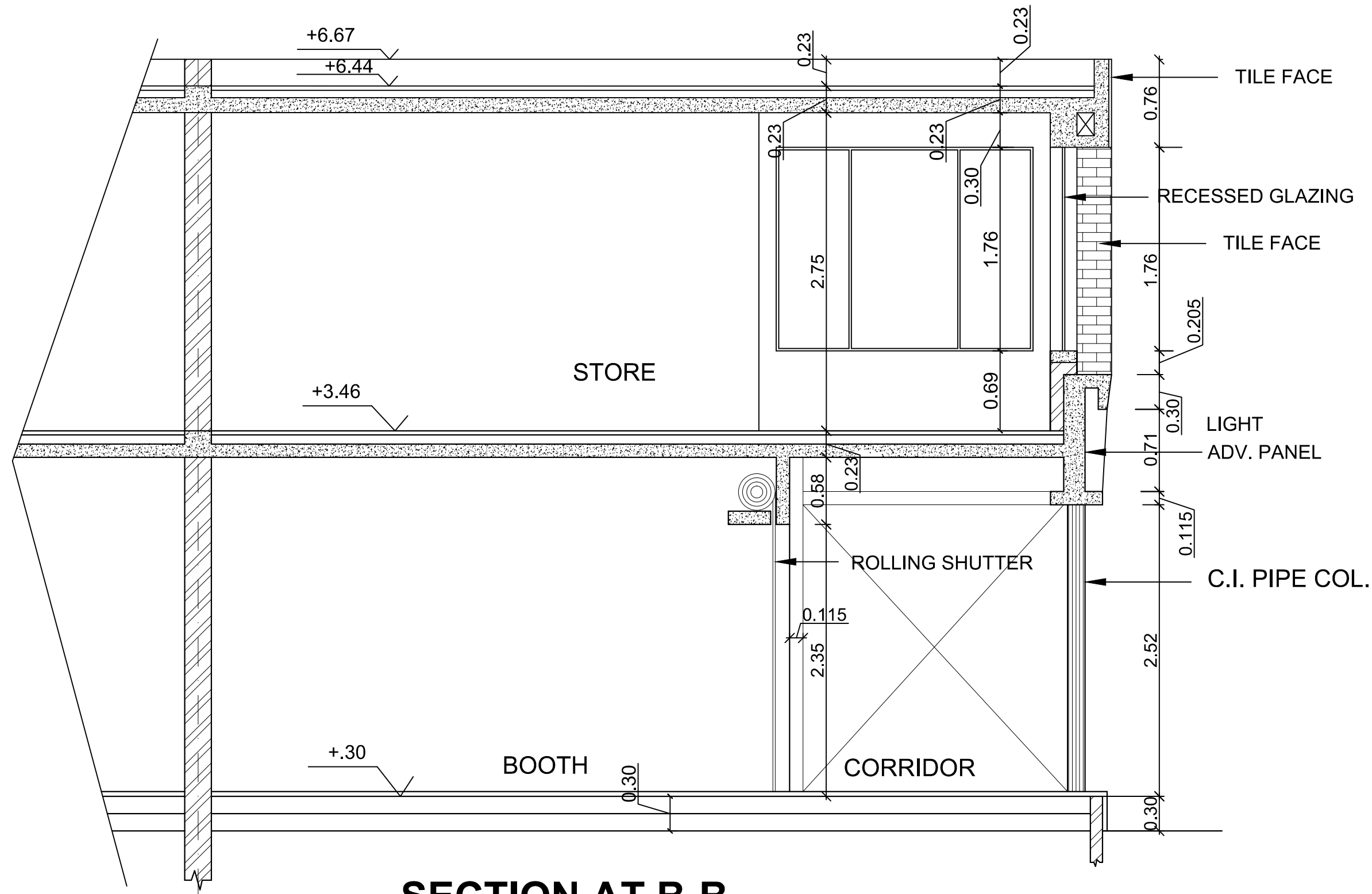
**SHOPPING BOOTH WITH
STORAGE ON FIRST FLOOR
SIZE: 2.75 X 8.25 M, 2.865 X 8.25M,**

CONTENTS

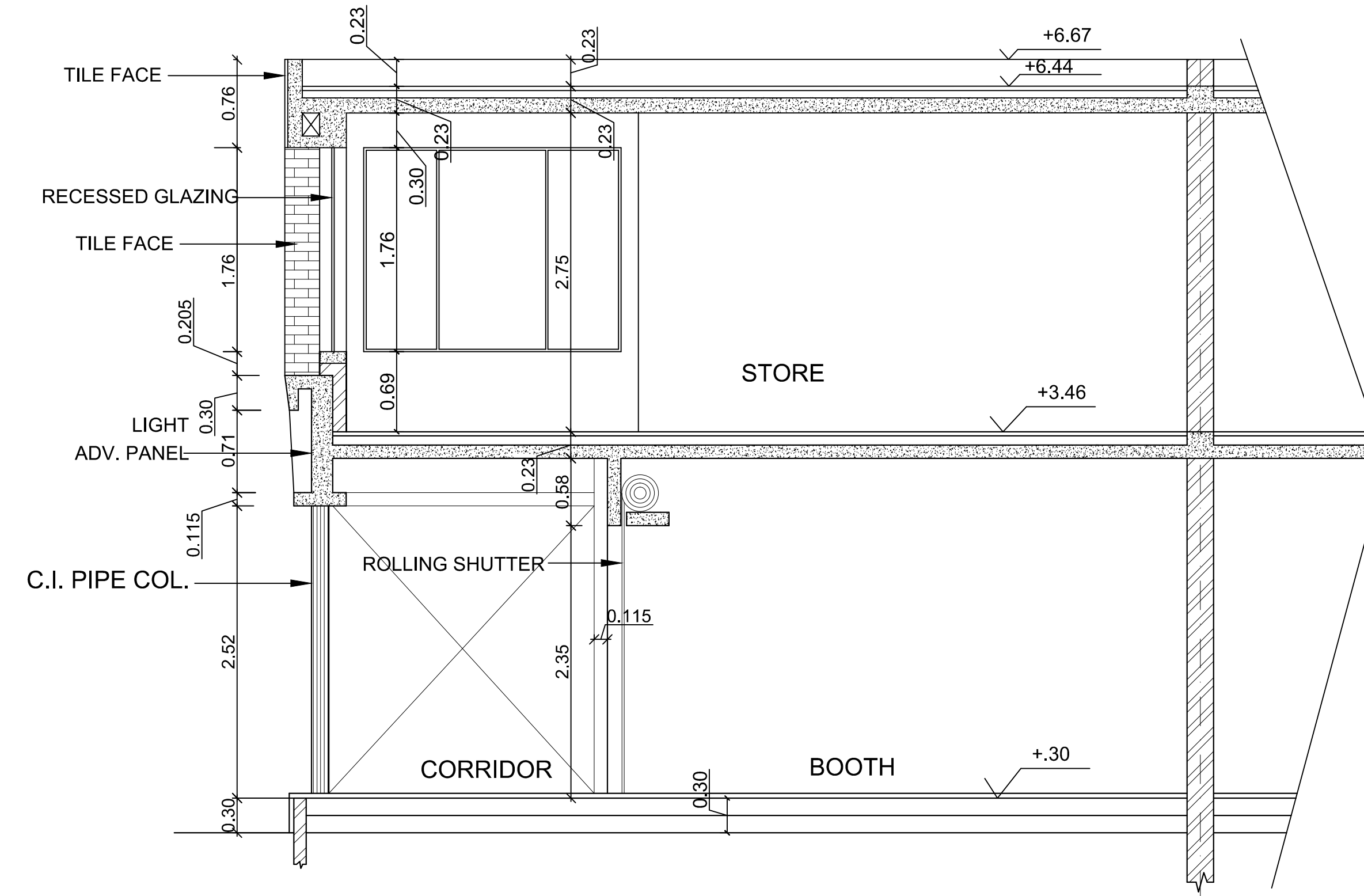
**GROUND FLOOR PLAN, FRONT,
RIGHT & LEFT SIDE ELEVATION**



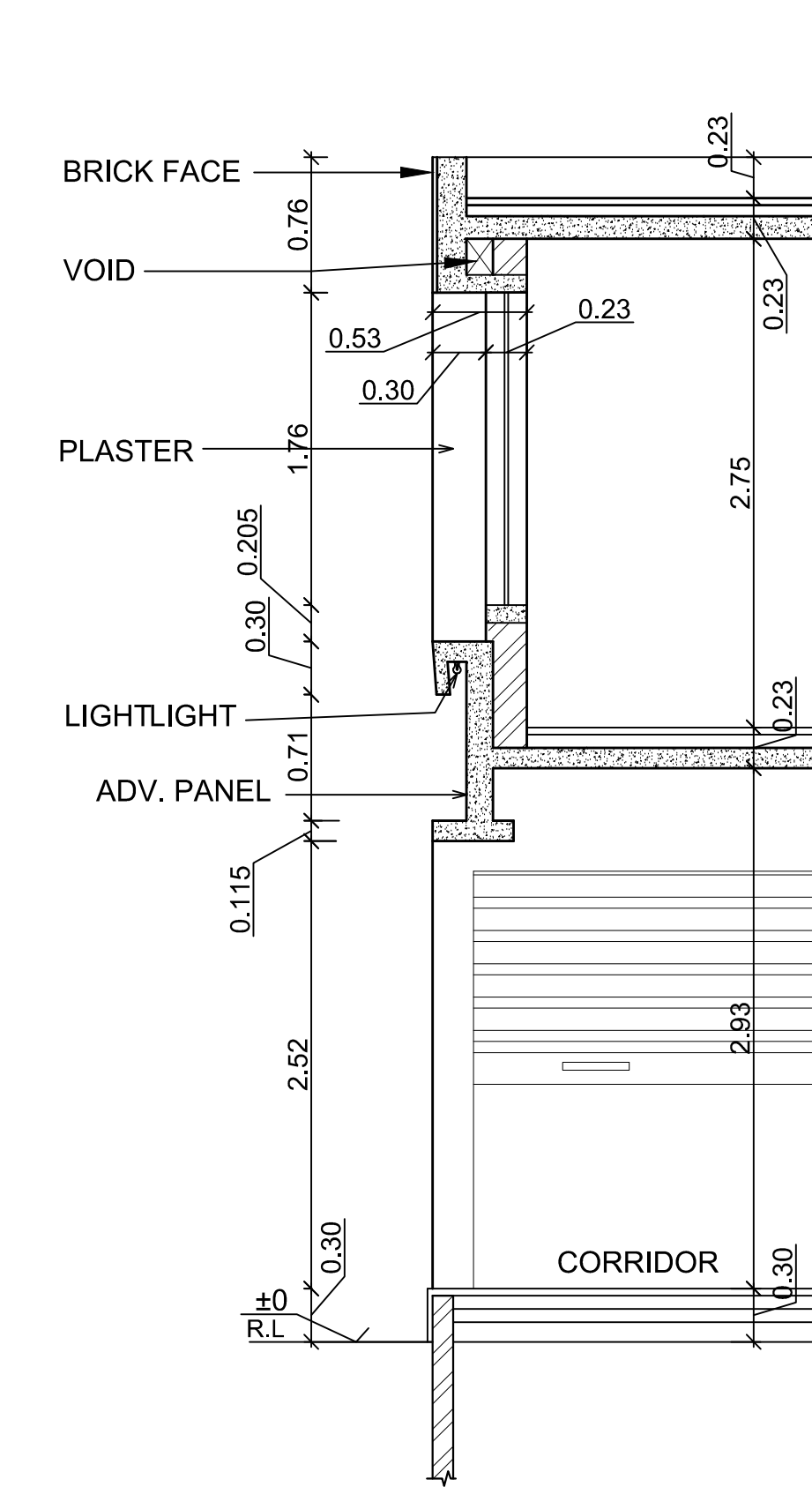
19. NO DEVIATION IN EXTERNAL FACADE THROUGH CORRIDOR SHALL
20. AS PER CLAUSE NO. 6-I PART-III OF I BUILDING CODE 2017 THESE ARCHITECTURE CONTROL SHEETS SHALL HAVE THE OVER THE ZONING PLAN OR BUILDING
21. WHERE EVER HARYANA BUILDING SILENT, NATIONAL BUILDING CODE ALLOWED.
22. FIRE FIGHTING PROVISIONS SHALL PER I.S.I. SPECIFICATIONS / NBC.
23. IN ALL CASES OF DISCREPANCY ARCHITECTURE WING FOR INSTRUMENTATION
24. THE SET CONTAINS 2 NO. OF DRAWINGS
25. DRAWINGS APPROVED BY C.A. H.U.D.A. 01.12.2017.



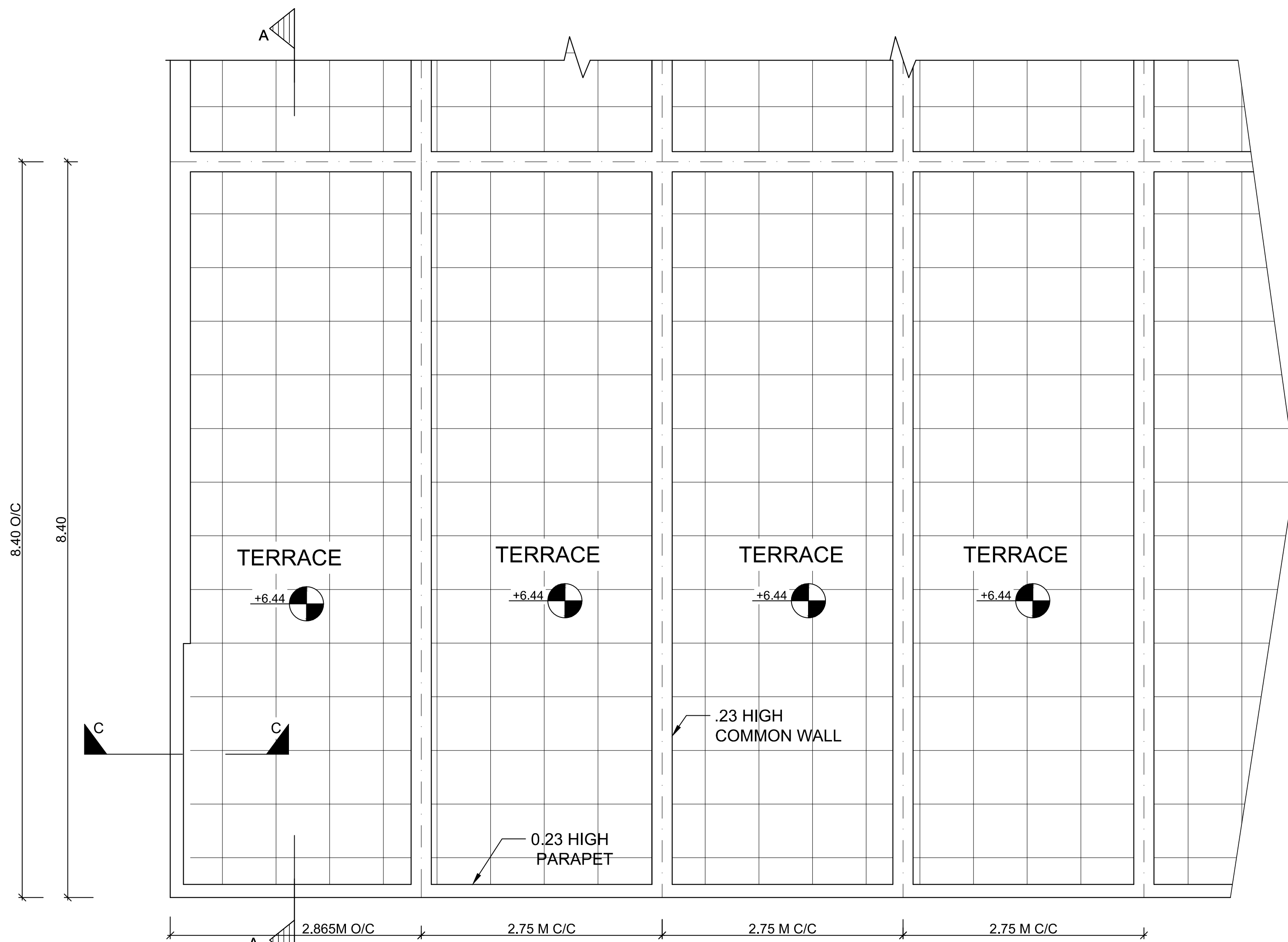
SECTION AT B-B



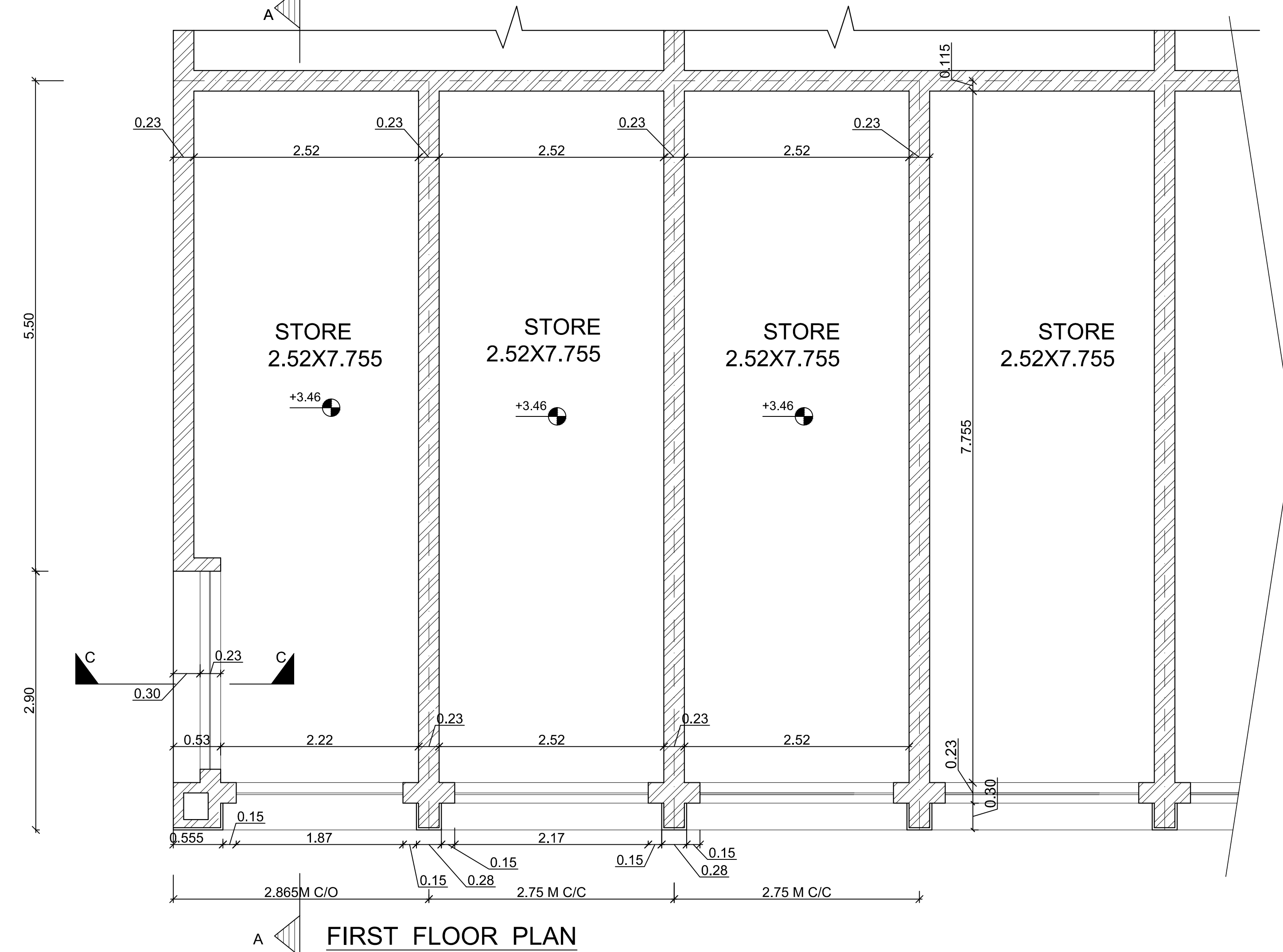
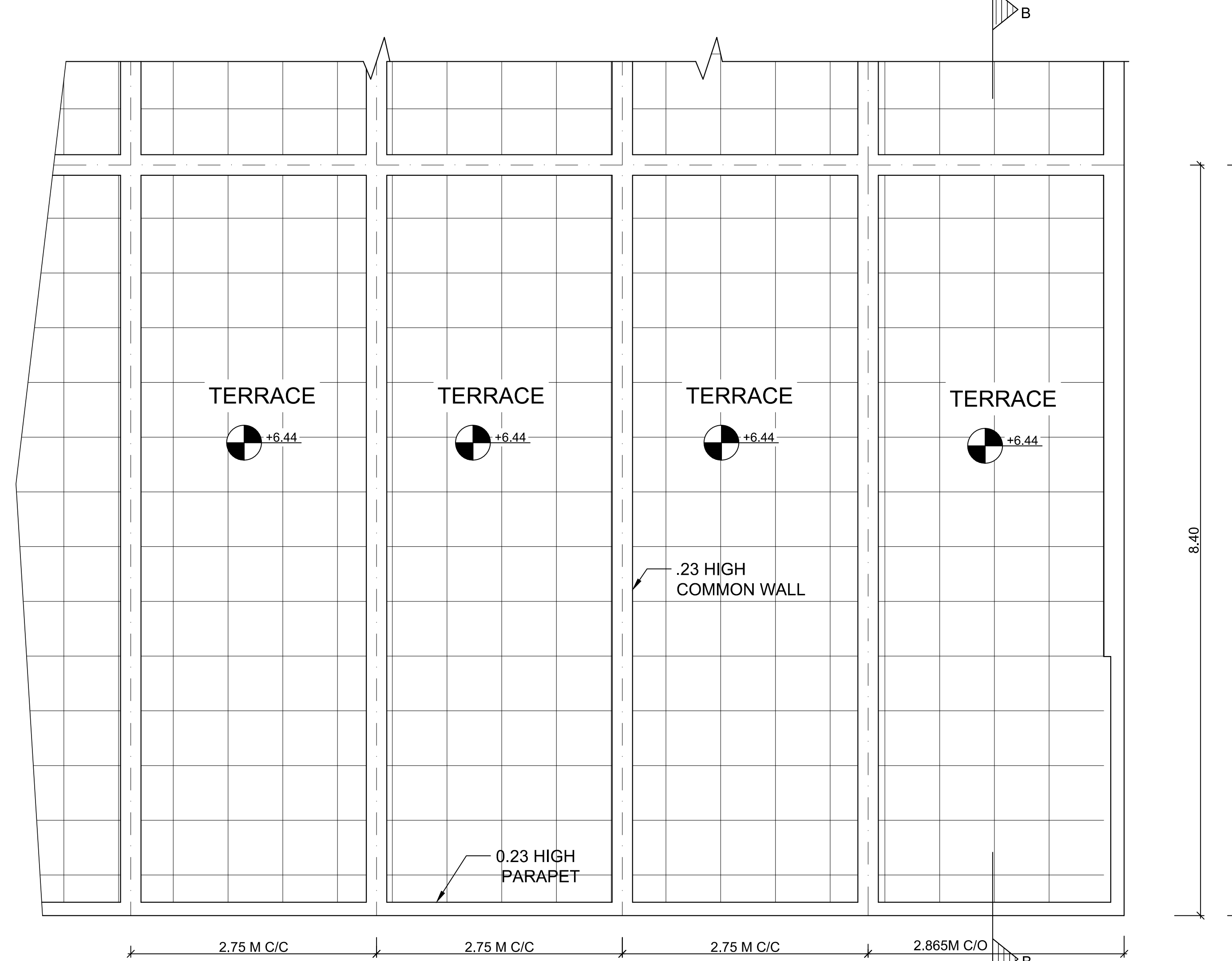
SECTION AT A-A



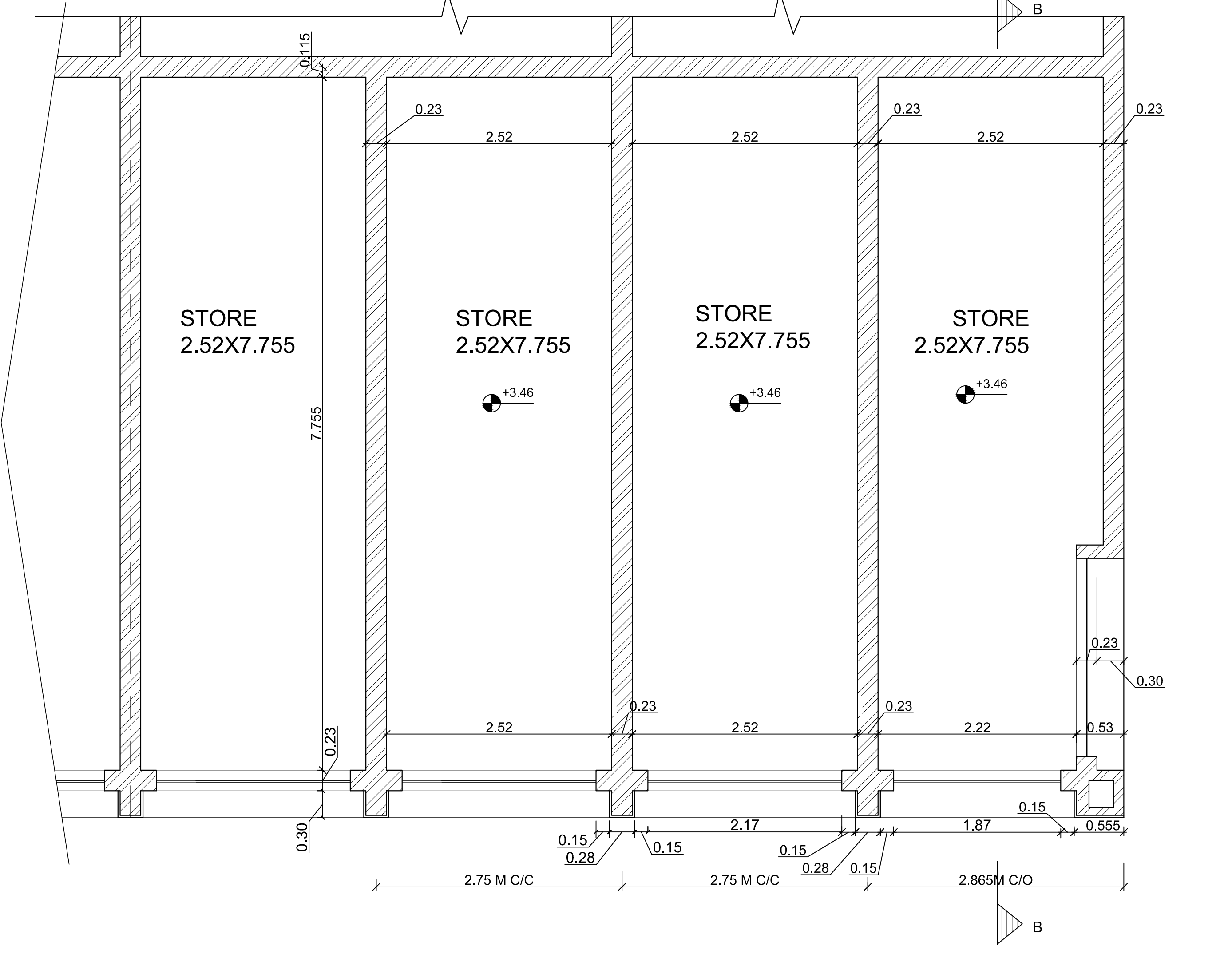
SECTION AT C-C



TERRACE PLAN



FIRST FLOOR PLAN



Sd/-
J.GANESAN (I.A.S)
CHIEF ADMINISTRATOR

Sd/-
H.R.YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RAGHNA VERMA
ASSTT.Architect

**ARCHITECTURE WING
H.U.D.A PANCHKUL**

CHECKED BY:-

DEALT BY: PRATIBHA BANSAL

JOB NO	DATE	SCALE
3321	2017	1:50

PROJECT TITLE:-
**SHOPPING BOOTH WITH STORAGE ON FIRST FLOOR
SIZE: 2.75 X 8.25 M, 2.865 X 8.2**

CONTENTS
**FIRST FLOOR & TERRACE
SECTION A-A, SECTION B-B
SECTION C-C**

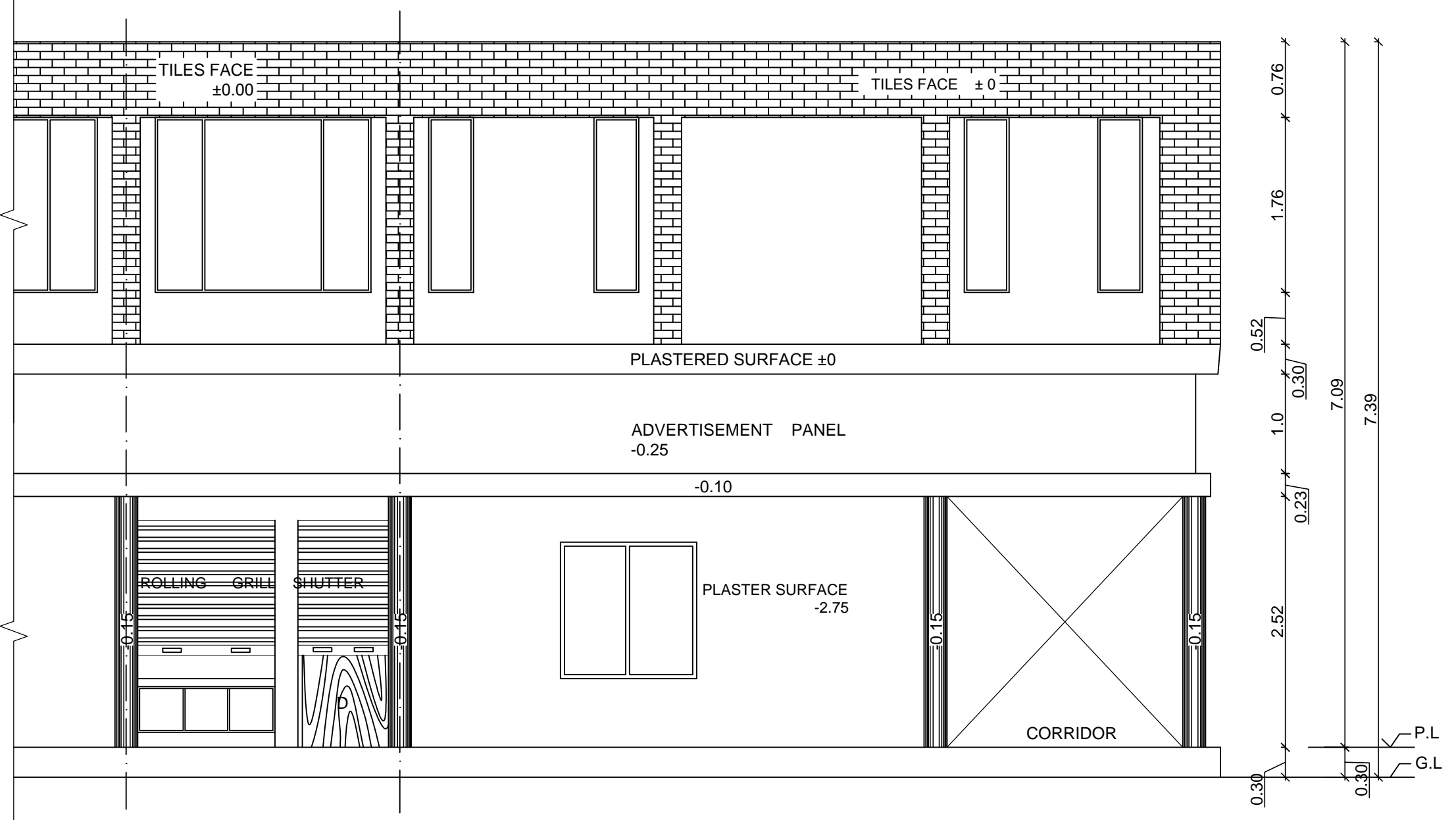
1. PROVISION OF FIRST FLOOR HAS BEEN APPROVED IN THE 112TH MEETING OF HSVP HELD ON 10.01.2017 AS PER AGENDA ITEM NO. A-112TH (20).
2. THIS JOB IS TO BE READ W.R.T. JOB NO. 3155 FOR THE PROVISION OF STORAGE ON FIRST FLOOR.
3. STAIRCASE SHALL BE AS PER **ADDITIONAL CLAUSE NO. 2** WRITTEN ON DRAWING NO.1

HSVP

NOTES :-

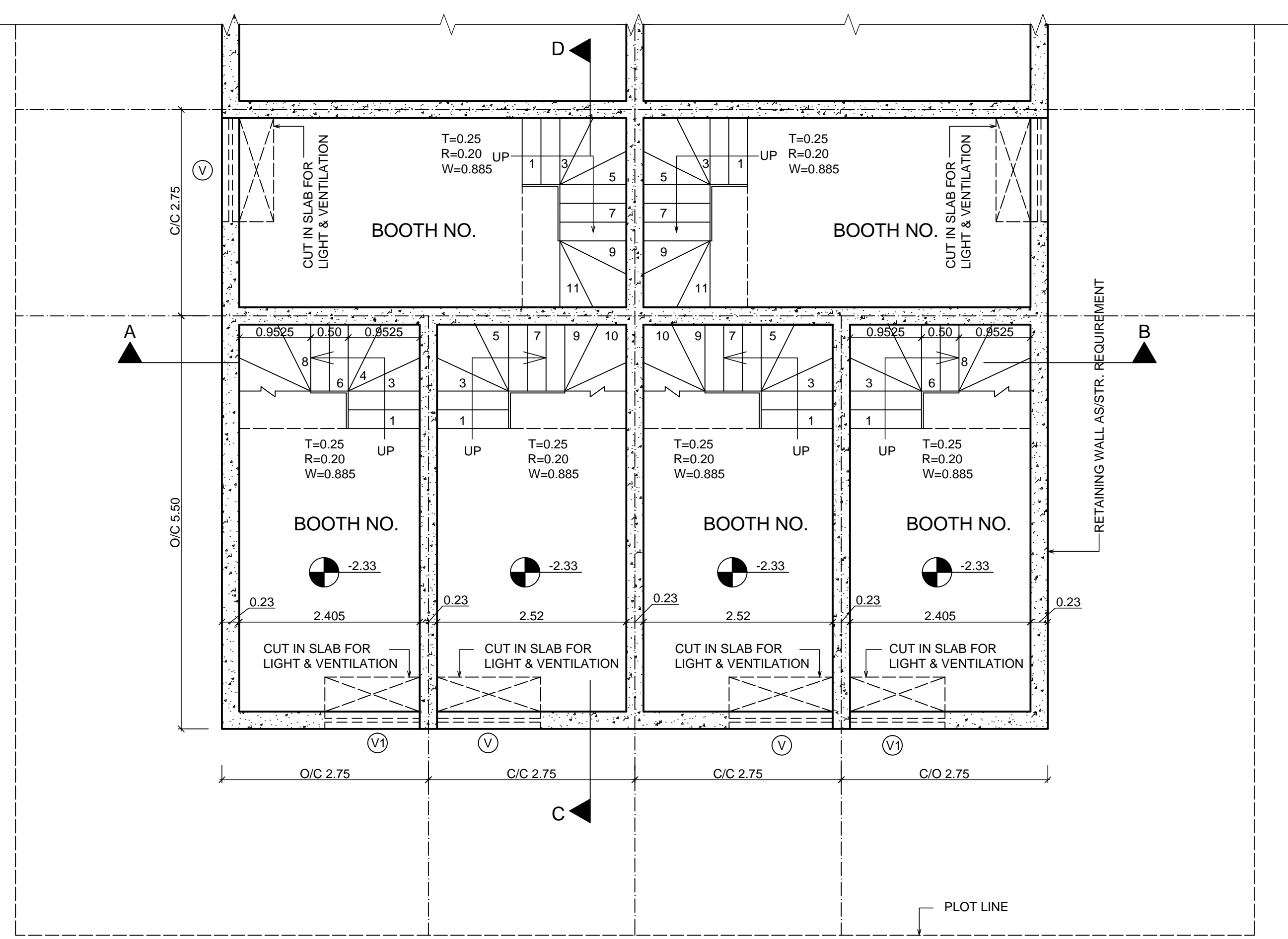
1. THESE DRAWINGS ARE THE PROPERTY OF THE H.S.V.P. AND MUST NOT BE ALTERED OR COPIED IN WHOLE OR IN PART THERE OF WITHOUT THE PERMISSION OF THE AUTHORITY IN WRITING.
2. RESTRICTIONS CONTAINED IN THESE ARCHITECTURAL CONTROL SHEETS ARE IN ADDITION OF THE HARYANA BUILDING CODE 2017.
3. AS PER CLAUSE 6.1 PART III OF HARYANA BUILDING CODE 2017 THESE ARCHITECTURAL SHEETS SHALL HAVE PRECEDENCE OVER THE ZONING PLAN OR THE BUILDING REGULATION.
4. NO SUB DIVISION OF BOOTH SHALL BE ALLOWED.
5. INTERNAL PLANNING IS LEFT TO THE DISCRETION OF THE OWNER BUT SUBJECT TO THE PRIOR APPROVAL OF THE C.A. H.S.V.P.
6. DEVIATION IN HEIGHT OF VARIOUS FLOORS AS INDICATED IN THE DRAWINGS SHALL NOT BE ALLOWED.
7. BASEMENT SHALL BE COMPULSORY.
8. NO BASEMENT SHALL BE ALLOWED BENEATH THE PUBLIC CORRIDOR.
9. PROPER DAMP PROOF TREATMENT SHALL BE GIVEN TO THE RETAINING WALLS OF THE BASEMENT.
10. BASEMENT SHALL BE USED FOR MACHINE ROOM / LIFTS / STORE, RECORD, GOODWINS AND STORAGE ROOMS. THE ACCESSORIES TO THE PRINCIPAL USE OF THE SITE AND FOR NO OTHER PURPOSES.
11. THE PUBLIC CORRIDOR INDICATED IN THE DRAWINGS SHALL BE LEFT UNOBSTRUCTED UNHINDERED AND UN-ENCROACHED FOR EXCLUSIVE USE AS A PUBLIC PASSAGE.
12. NO PORTION OF THE BUILDING OR ANY OTHER FEATURE SHALL PROJECT BEYOND THE PRESCRIBED TOP OF THE PARAPET.
13. NO DEVIATION IN EXTERNAL FACADE OR FACADE THROUGH CORRIDOR SHALL BE ALLOWED.
14. IN CASE OF 0.23M (9") THICK PARTY WALL NECESSARY STRUCTURAL R.C.C. COLUMNS AND BEAMS SHALL BE PROVIDED IF REQUIRED.
15. STRUCTURAL DESIGN SHALL BE OBTAINED BY THE OWNER AND ITS SAFETY SHALL BE HIS RESPONSIBILITY.
16. ALL EXTERNAL R.C.C. COLUMNS SHALL BE FINISHED WITH STEEL SHUTTERING PATTERN AND NO COLOUR WASH SHALL BE GIVEN TO THESE COLUMNS.
17. THE MEANS OF TAKING ELECTRICAL, TELEPHONES OR ANY OTHER CONNECTIONS FROM THE PUBLIC SUPPLY LINES SHALL BE SHOWN ON THE BUILDING PLANS AND SHALL BE SUBJECT TO THE APPROVAL OF THE C.A. H.S.V.P.

TO BE CONTINUE ON SHEET-2

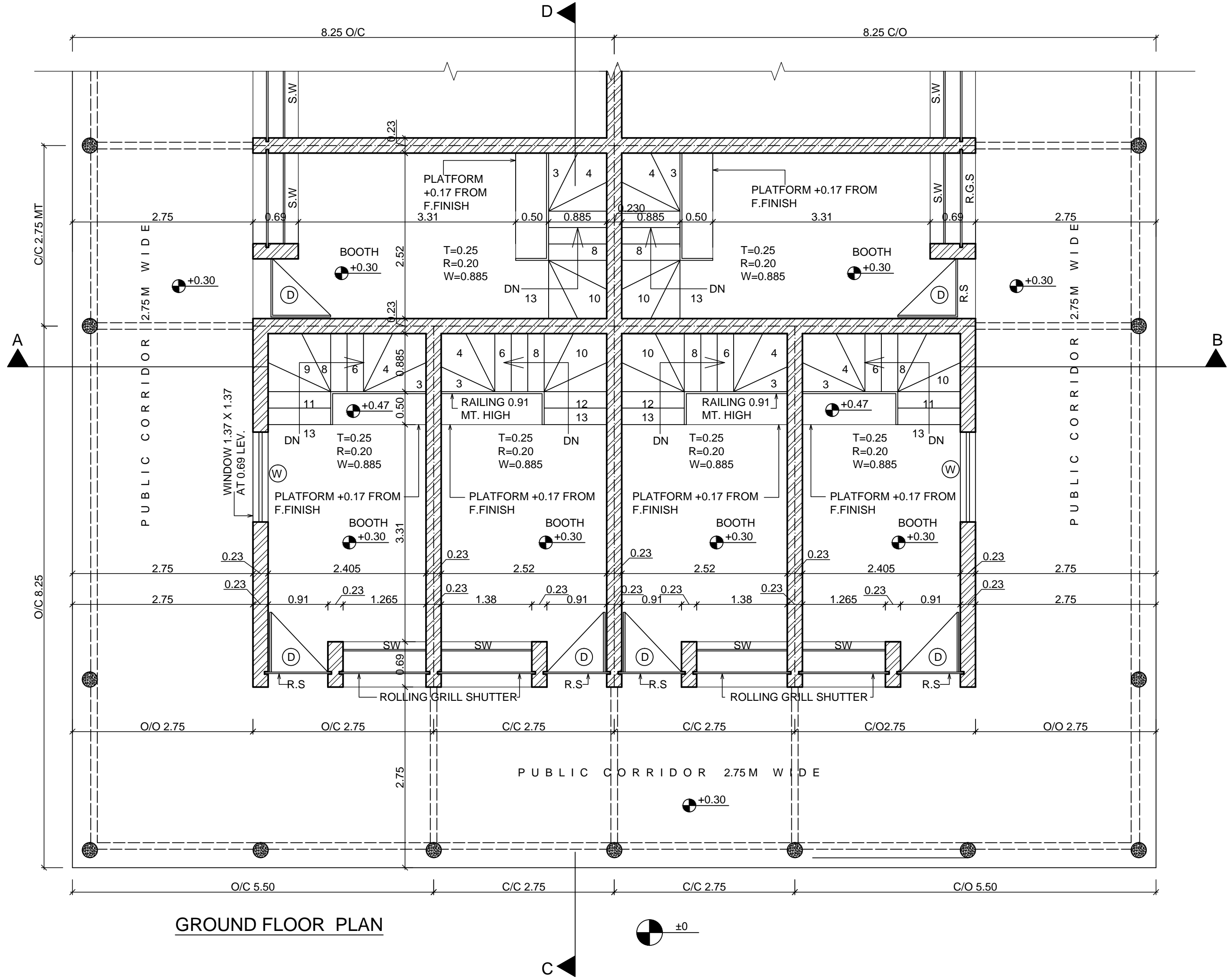


LEFT SIDE ELEVATION

- ADDITIONAL CLAUSES:-**
1. **SANCTION OF BUILDING PLAN-** BEFORE THE COMMENCEMENT OF THE CONSTRUCTION, THE ALLOTTEE OF SINGLE STOREY SHOPS SHALL GET THE BUILDING PLAN OF FIRST FLOOR SANCTIONED FROM CONCERNED ESTATE OFFICER, HSVP. THE BUILDING PLAN SHALL BE ACCOMPANIED WITH 'STRUCTURAL STABILITY CERTIFICATE' ISSUED BY REGISTERED STRUCTURE ENGINEER AND APPLICANT/ALLOTTEE SHALL ALSO SUBMIT AN UNDERTAKING IN THE SHAPE OF AN AFFIDAVIT TO THE EFFECT THAT:-
 - a) THE ALLOTTEE SHALL BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF HIS/HER OWN STRUCTURE AS WELL AS ABUTTING BOOTHS/SHOPS.
 - b) THE ALLOTTEE SHALL ALSO BE RESPONSIBLE TO MAKE GOOD THE LOSS, IF ANY, SUSTAINED BY THE ALLOTTEE OF ABUTTING BOOTHS/SHOPS, HSVP OR ITS EMPLOYEES
 2.
 - a) POSITION OF STAIRCASE SHALL BE LEFT TO THE DISCRETION OF OWNER BUT WIDTH OF STAIR SHOULD NOT BE LESS THAN 0.885 MT, TREAD NOT LESS THAN 0.25 MT AND RISER NOT MORE THAN 0.20 MT
 - b) WINDERS IN STAIRCASE FOR APPROACHING FIRST FLOOR SHALL NOT BE ALLOWED.
 3. THE FIRST FLOOR PROPOSED ON SINGLE STOREY SHOPS SHALL EXCLUSIVELY BE USED FOR STORAGE PURPOSE ONLY AND FOR NO OTHER PURPOSES.
 4. FACADE SHALL BE STRICTLY ADHERED TO AS PER ARCHITECTURAL CONTROL.



BASEMENT PLAN



GROUND FLOOR PLAN

Sd/-
J. GANESAN (IAS)
CHIEF ADMINISTRATOR

Sd/-
H. R. YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEGHAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

ARCHITECTURE WING
H.S.V.P. PANCHKULA

CHECKED BY:-

Sd/-
DEALT BY: PRAVINDRA (ADM)

JOB NO 3333/2S	DRG. NO. 1	SCALE 1:50	DATE JULY 2018
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PROJECT TITLE:-

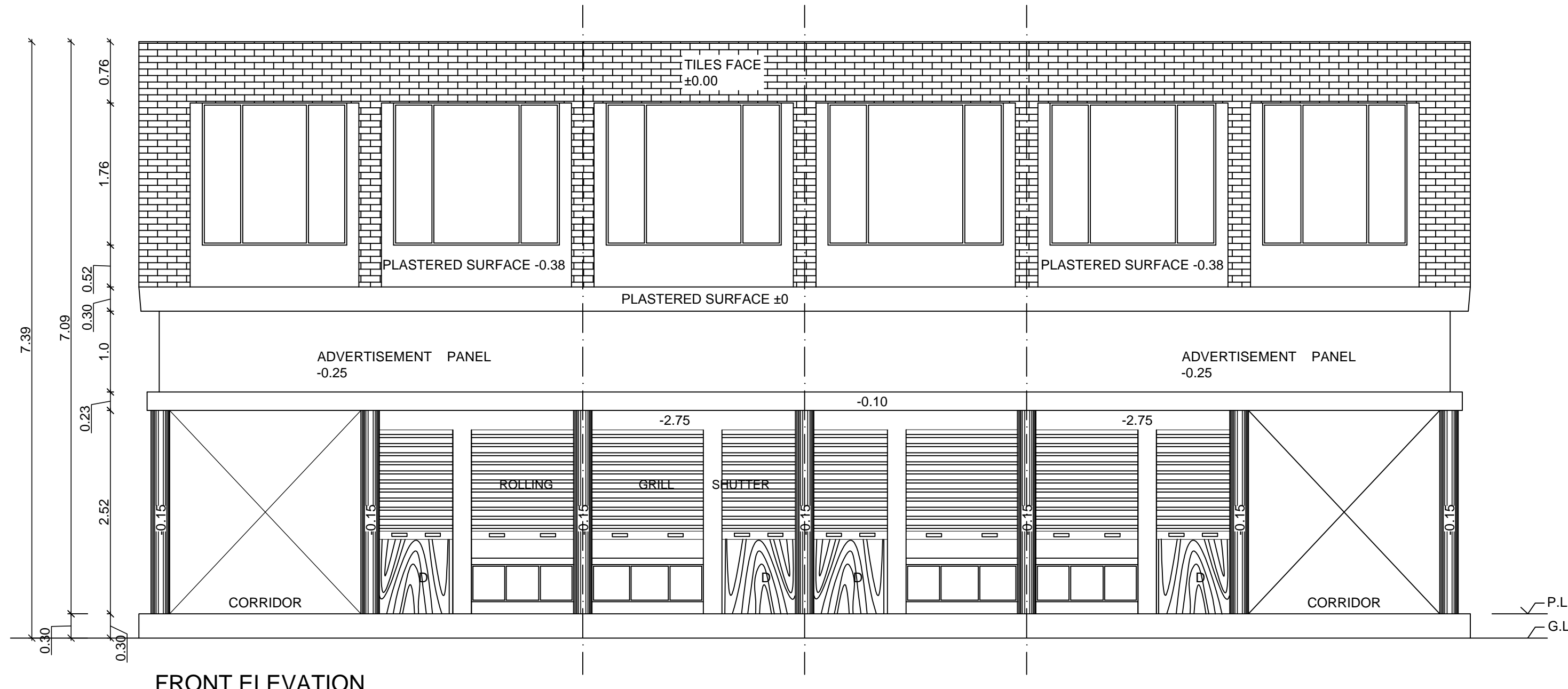
BOOTH WITH BASEMENT WITH
STORAGE ON FIRST FLOOR
JUNCTION BETWEEN BOOTH NO.
TO SECTOR-
SIZE 2.75 X 8.25 MTS/ 5.50 X 8.25 MTS.

CONTENTS:-
BASEMENT, GROUND FLOOR PLAN &
LEFT SIDE ELEVATION

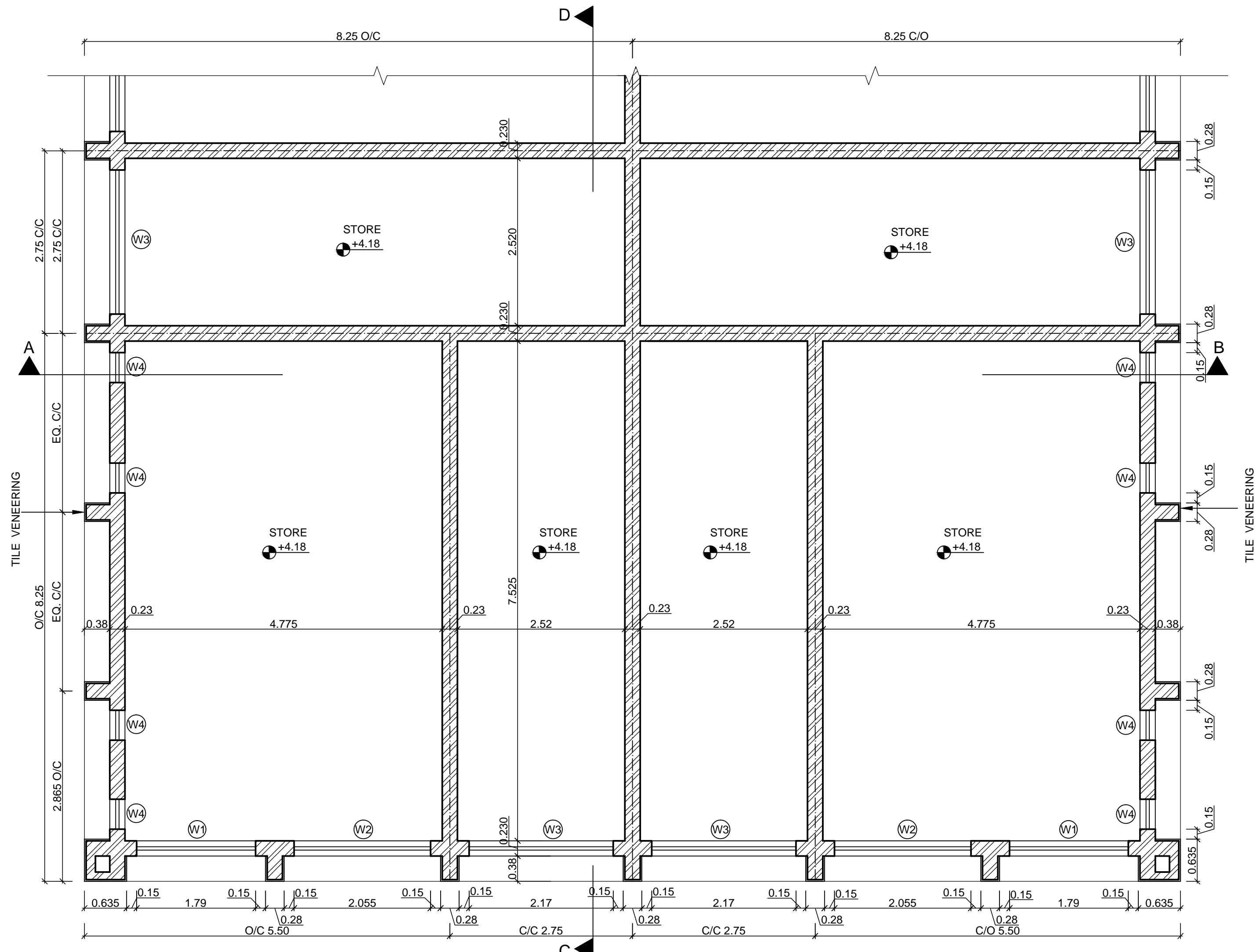
NOTES :-

- CONTINUATION FROM SHEET-1
- 18. ALL DIMENSIONS ARE IN MTS.
- 19. NO RAIN WATER PIPE SHALL BE PERMITTED ON THE FACADE OF THE BUILDING SHALL BE PROPERLY ENCASED.
- 20. RAIN WATER PIPES SHALL BE PROVIDED BY OWNERS AS PER EXISTING SITE CONDITIONS.
- 21. WORKING DIMENSIONS ARE NOT TO BE SCALED ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
- 22. IN CASE OF ANY DISCREPANCY, REFER ARCHITECTURE WING H.S.V.P. FOR INSTRUCTIONS
- 23. PLINTH LEVEL IS TO BE OBTAINED FROM THE COMPETENT AUTHORITY.
- 24. ONLY DULY QUALIFIED REGISTERED AND LICENSED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS SUPERVISE THE CONST. AND ISSUE THE COMPLETION CERTIFICATE.
- 25. IN CASE OF ANY OTHER ADJOINING SITE HAVING BEEN ALREADY CONSTRUCTED BEFORE ISSUE OF THESE ARCHITECTURAL CONTROL SHEETS THE OWNER OF THE SITE WILL HAVE TO PRODUCE A CERTIFICATE OF THE STRUCTURAL SAFETY FROM A QUALIFIED ENGINEER TO THE SANCTIONING AUTHORITY TO SATISFY THAT FOUNDATIONS & STRUCTURE OF THE EXISTING BUILDING SHALL BE FULLY SAFE IN ALL RESPECT.
- 26. SPACE PROVIDED FOR STORAGE ABOVE THE CORRIDOR SHALL BE EXCLUSIVELY USED FOR STORAGE ONLY AND FOR NO OTHER PURPOSE.
- 27. FIRE FIGHTING PROVISIONS SHALL BE MADE AS PER NATIONAL BUILDING CODE (I.S.) SPECIFICATIONS WHICH SHALL BE RESPONSIBILITY OF THE OWNER.
- 28. PLASTERED SURFACE SHALL BE WHITE WASHED UNLESS OTHERWISE SPECIFIED.
- 29. WHERE EVER HARYANA BUILDING CODE 2017 IS SILENT, NATIONAL BUILDING CODE SHALL BE FOLLOWED.
- 30. DRAWINGS APPROVED VIDE CA H.S.V.P. NO 15.08.2018

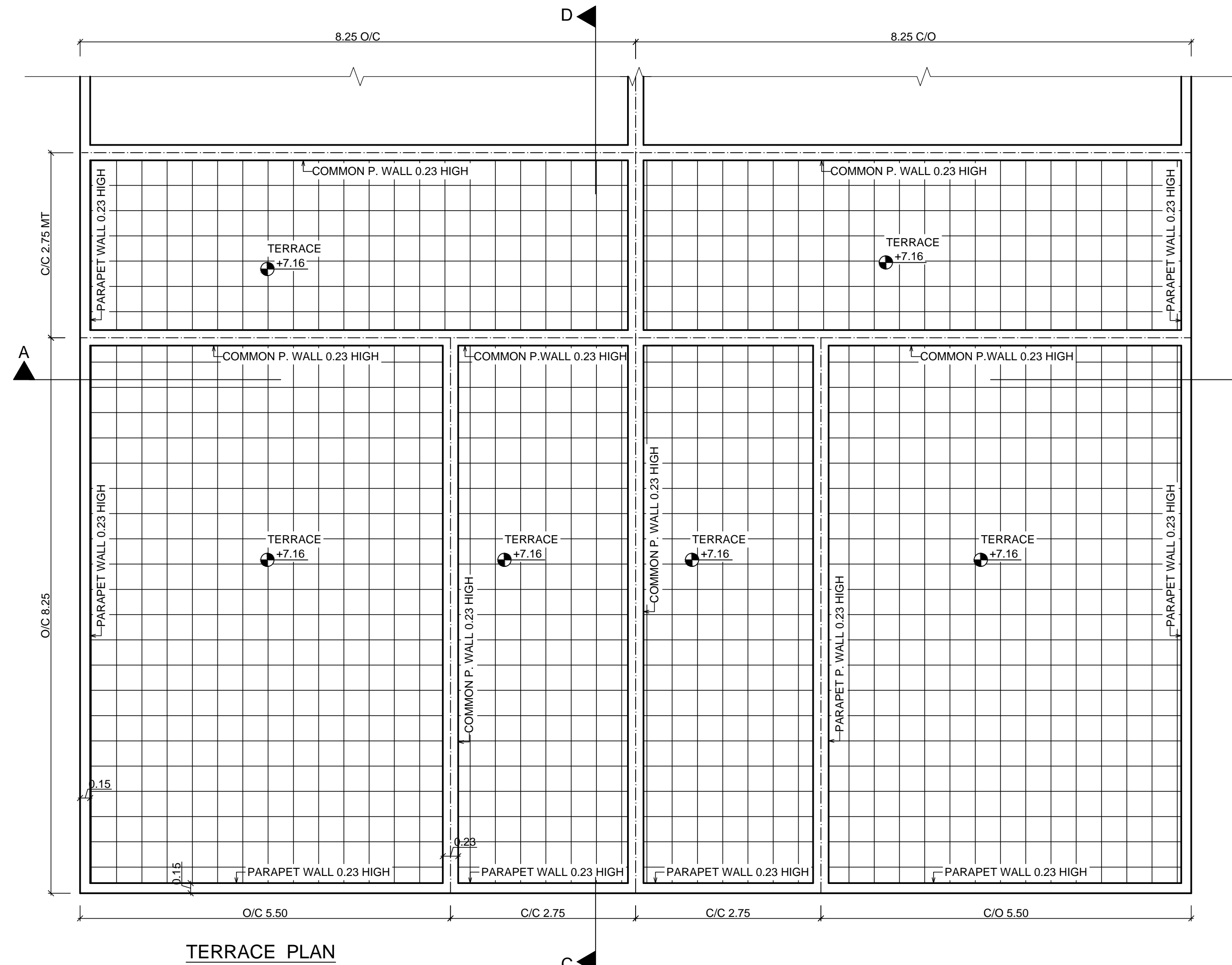
SCHEDULE OF JOINERY				
S.NO.	TYPE	SIZE	CILL	TOP
1	D	0.91X2.28	-	2.28
2	W	1.37X1.37	0.69	2.06
3	V	1.38X0.46	0.15	0.61
4	V1	1.265X0.46	0.15	0.61
5	W1	1.79X1.76	0.69	2.45
6	W2	2.055X1.76	0.69	2.45
7	W3	2.17X1.76	0.69	2.45
8	W4	0.45X1.76	0.69	2.45



FRONT ELEVATION



FIRST FLOOR PLAN



TERRACE PLAN

Sd/-
J. GANESAN (IAS)
CHIEF ADMINISTRATOR

Sd/-
H. R. YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEGHAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

**ARCHITECTURE WING
H.S.V.P. PANCHKULA**

CHECKED BY:-

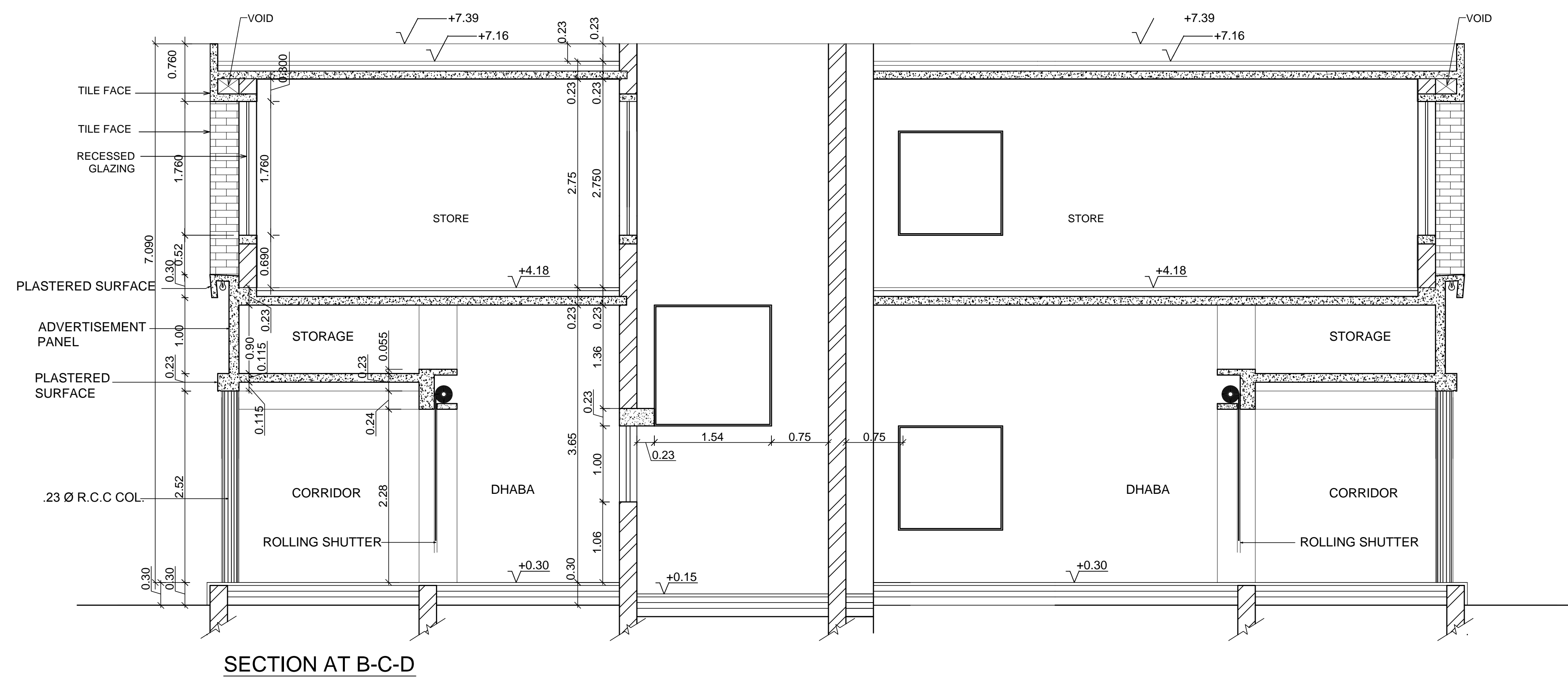
Sd/-
DEALT BY: PRAVINDRA (ADM)

JOB NO 3333/2S	DRG. NO. 2	SCALE 1:50	DATE JULY 2018
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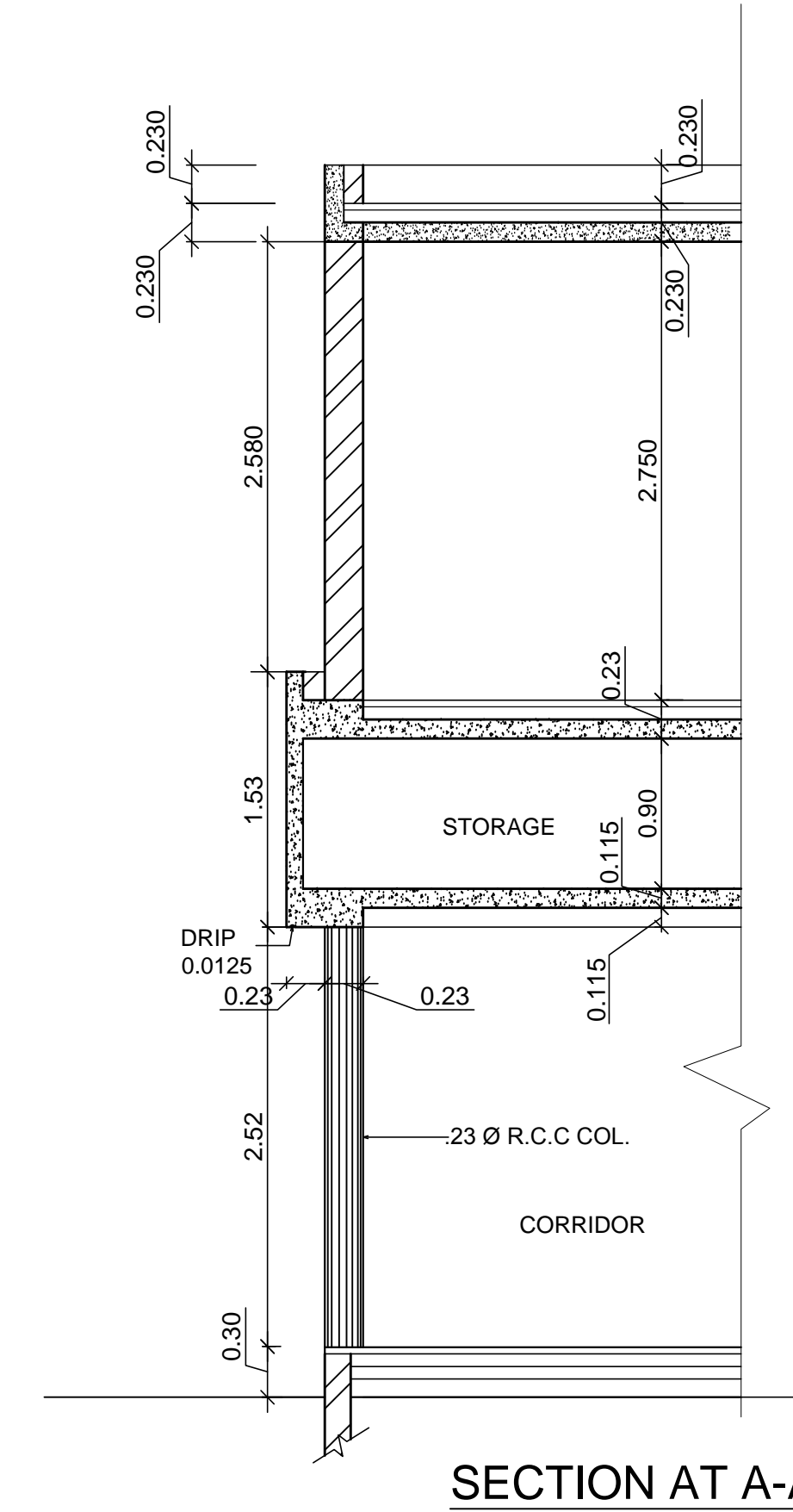
PROJECT TITLE:-
**BOOTH WITH BASEMENT WITH
STORAGE ON FIRST FLOOR
JUNCTION BETWEEN BOOTH NO.
TO SECTOR-
SIZE 2.75 X 8.25 MTS/ 5.50 X 8.25 MTS.**

CONTENTS:-
**FIRST FLOOR, TERRACE PLAN &
FRONT ELEVATION**

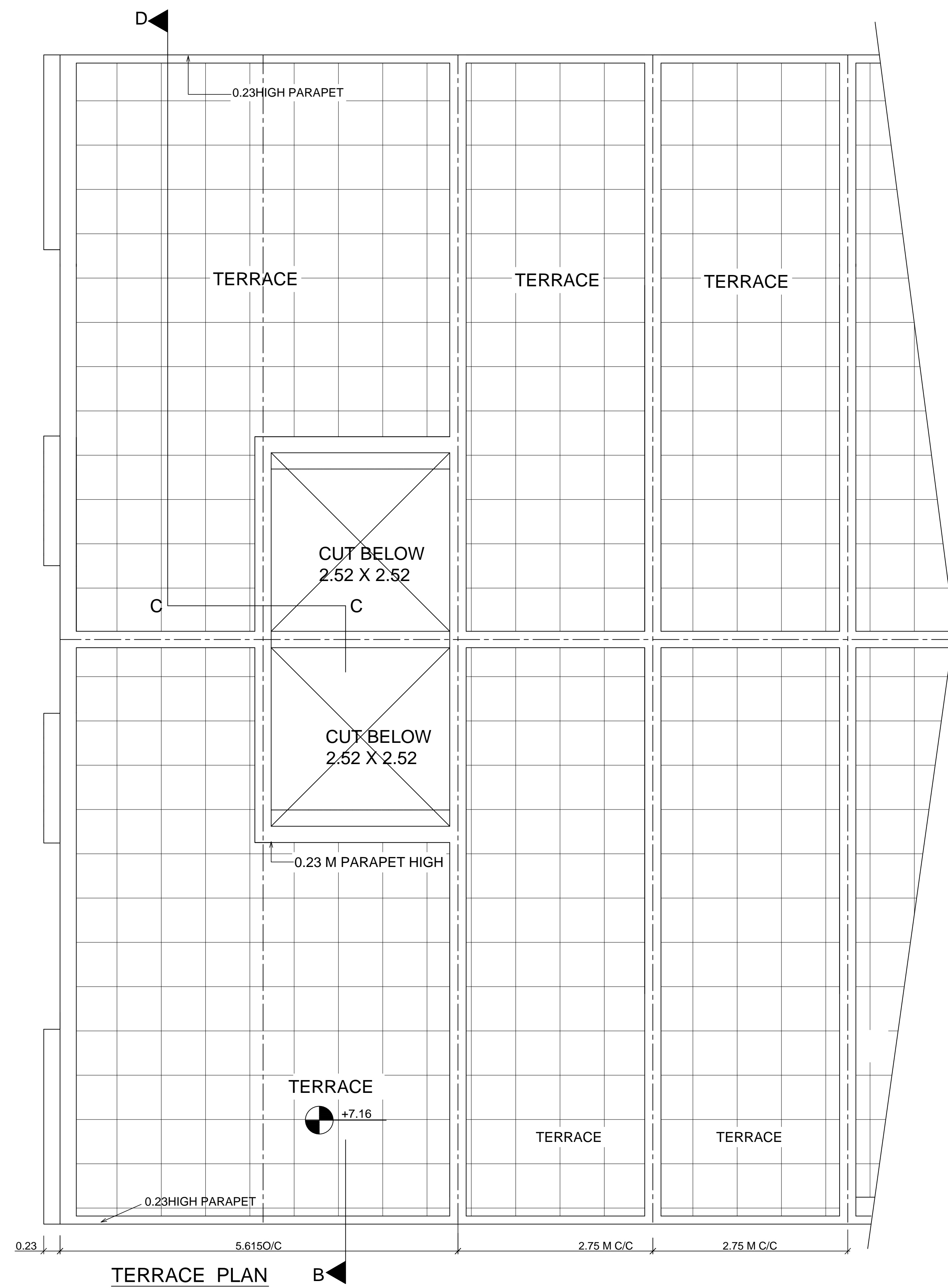
HSVP



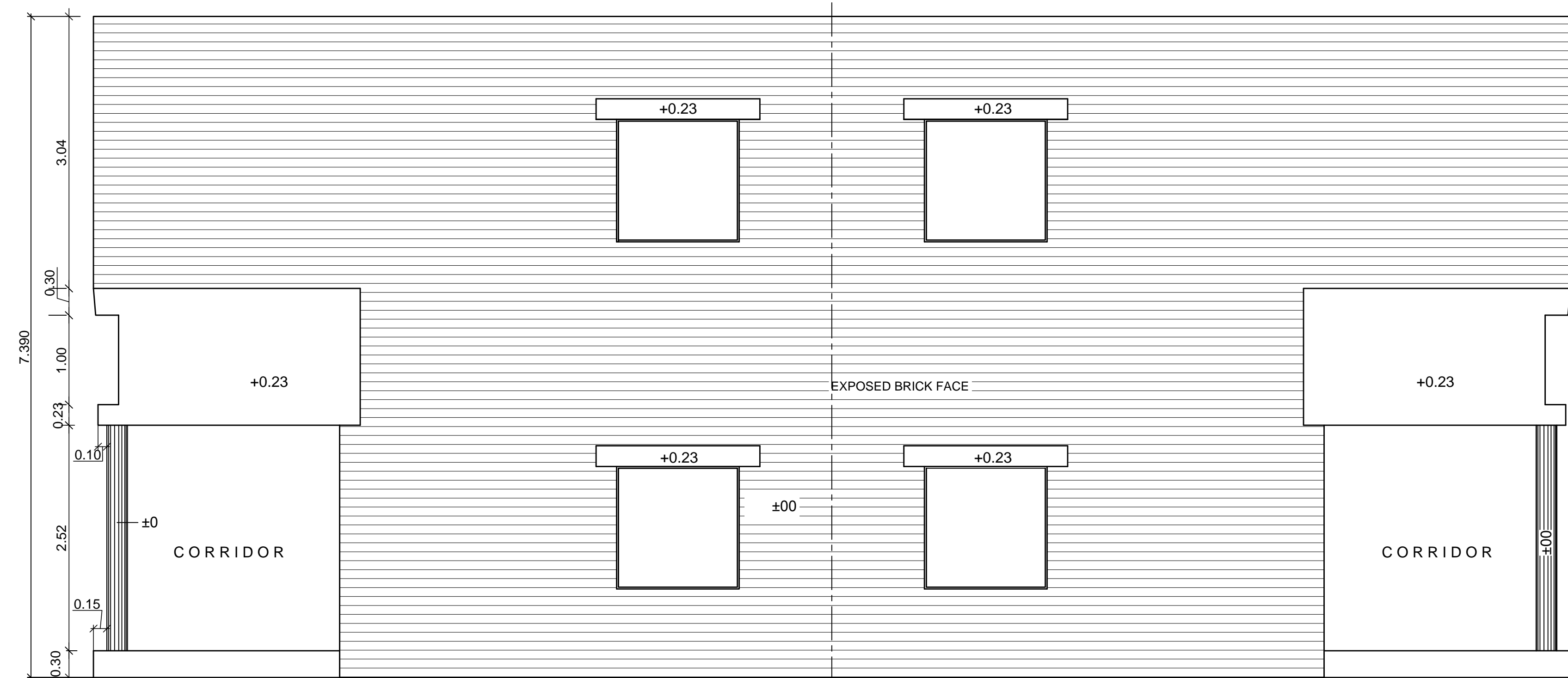
SECTION AT B-C-D



SECTION AT A-A



TERRACE PLAN



SIDE ELEVATION

sd/-on 24-9-18
J.JANESAN (IAS)
CHIEF ADMINISTRATOR

sd/-
H.R.YADAV
CHIEF ARCHITECT

sd/-
RAJESH SEHGAL
SR. ARCHITECT

(VACANT)
ARCHITECT

sd/-
RACHNA VERMA
ASSTT.Architect

ARCHITECTURE WING
H.U.D.A PANCHKULA

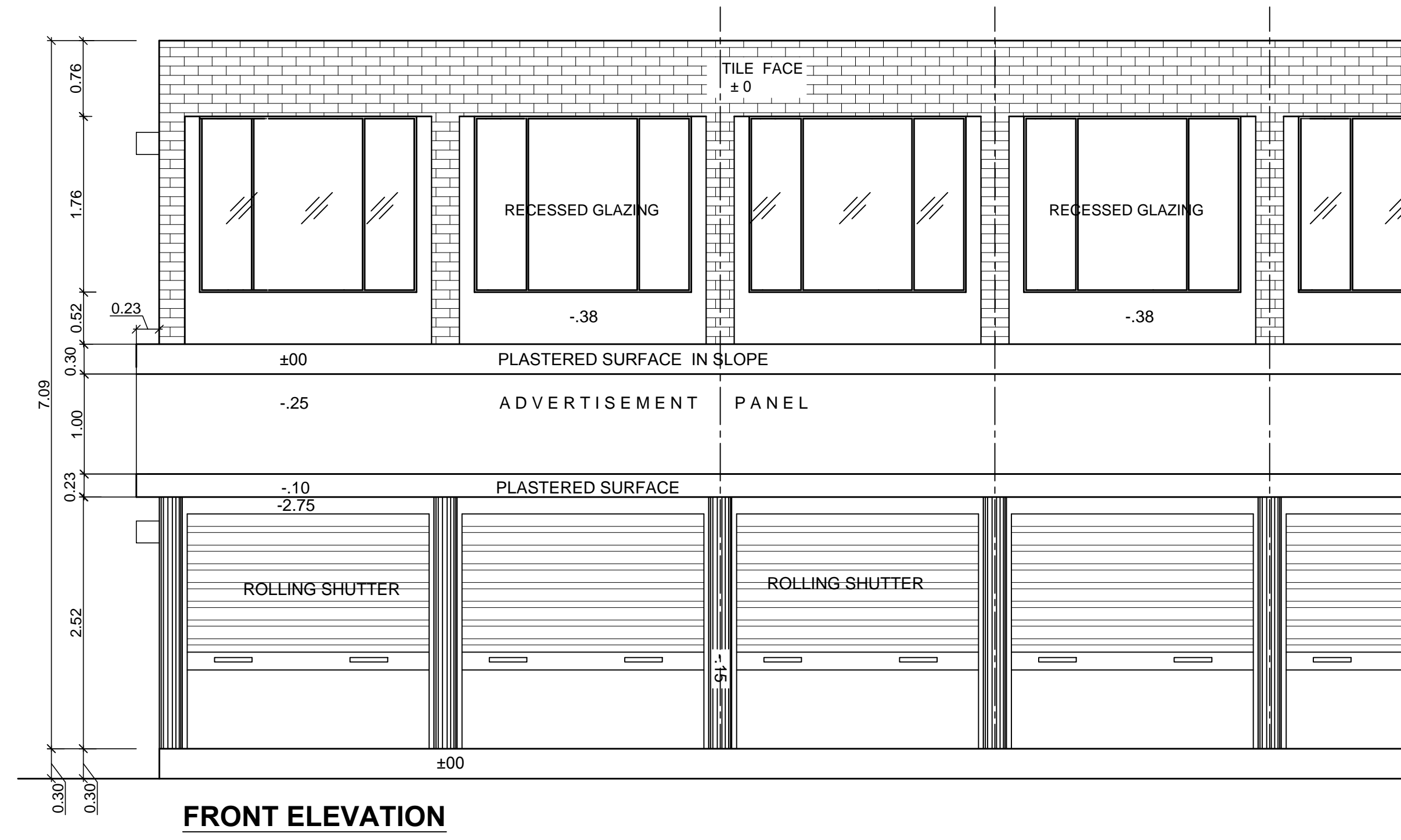
VEENA RANI
DEALT BY:

CHECKED BY:

JOB NO	SCALE	DATE	DRG. NO.
3335	1:50	SEP.18	2.

PROJECT TITLE:-
**DHABA END SIDE DEAD WITHOUT
BASEMENT WITH STORAGE ON
FIRST FLOOR (5.615x8.25mt.)**

CONTENTS
**TERRACE PLAN, SIDE
ELEVATION AND SECTIONS**



FRONT ELEVATION

- 1) PROVISION OF FIRST FLOOR HAS BEEN APPROVED IN THE 112TH MEETING OF HUDA HELD ON 10.01.2017 AS PER AGENDA ITEM NO.A-112TH (20).
- 2) THIS JOB IS TO BE READ W.R.T. JOB NO. _1075-A_ FOR THE PROVISION OF STORAGE ON FIRST FLOOR.
- 3) STAIRCASE SHALL BE AS PER ADDITIONAL CLAUSE NO. 2 ON DRAWING NO -----

24. AS PER CLAUSE 6.1 PART III OF HARYANA BUILDING CODE 2017, THESE ARCHITECTURAL CONTROL SHEETS SHALL HAVE PRECEDENCE OVER THE ZONING PLAN OR BUILDING REGULATIONS.
25. SPACE PROVIDED FOR STORAGE ABOVE THE CORRIDOR SHALL BE EXCLUSIVELY USED FOR STORAGE ONLY AND FOR NO OTHER PURPOSE.
26. STANDARD STEEL SECTIONS SHALL BE USED IN ALL EXTERNAL WINDOWS.
27. EARTHQUAKE PROOF STRUCTURE SHALL BE OBTAINED AND ENSURED BY THE QUALIFIED STRUCTURAL ENGINEER AND SHALL BE AS PER N.B.C REQUIREMENT.
28. FIRE FIGHTING PROVISIONS SHALL BE MADE AS PER I.S.I. SPECIFICATIONS AND TO THE SATISFACTION OF LOCAL FIRE OFFICER. ALL THESE MEASURES SHALL BE PROVIDED AND SHALL BE HIS RESPONSIBILITY. THE SAME SHALL BE SHOWN ON THE PLAN WHILE SUBMITTING THE DRGS. FOR SANCTION WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER.
29. WHERE EVER HARYANA BUILDING CODE 2017 IS SILENT, NATIONAL BUILDING CODE SHALL BE FOLLOWED.
30. SET CONTAINS 2 NOS OF DRGS.
31. DRGS. APPROVED BY C.A. H.S.V.P ON 24-9-2018

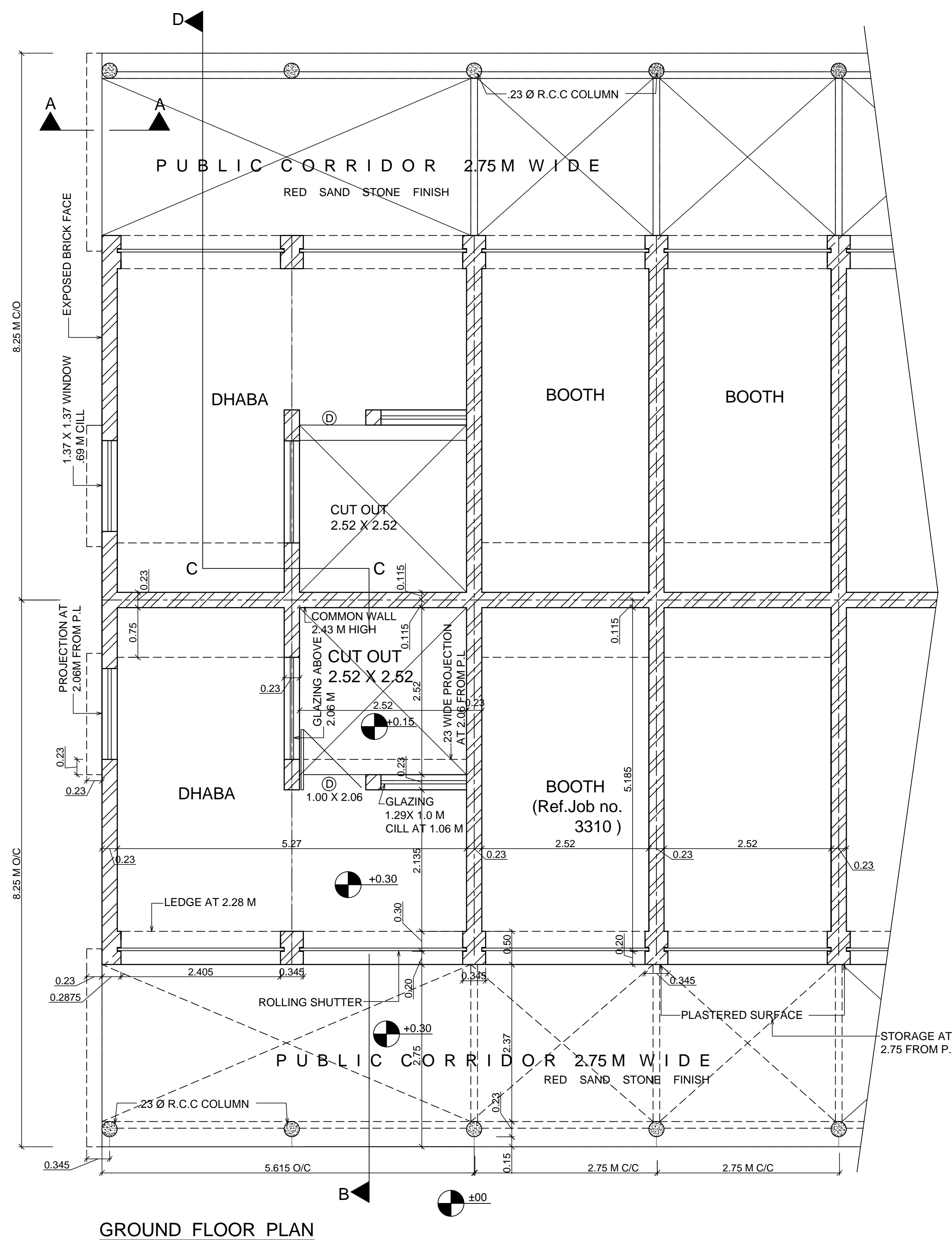
ADDITIONAL CLAUSES:-

- 1) SANCTION OF BUILDING PLAN: - BEFORE THE COMMENCEMENT OF THE CONSTRUCTION, THE ALLOTTEE OF SINGLE STOREY SHOPS SHALL GET THE BUILDING PLAN OF FIRST FLOOR SANCTIONED FROM CONCERNED ESTATE OFFICER. H.S.V.P. THE BUILDING PLAN SHALL BE ACCOMPANIED WITH 'STRUCTURAL STABILITY CERTIFICATE' ISSUED BY REGISTERED STRUCTURE ENGINEER AND APPLICANT/ ALLOTTEE SHALL ALSO SUBMIT AN UNDERTAKING IN THE SHAPE OF AN AFFIDAVIT TO THE EFFECT THAT:
 - a) THE ALLOTTEE SHALL BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF HIS OWN STRUCTURE AS WELL AS ABUTTING BOOTHS/SHOPS.
 - b) THE ALLOTTEE SHALL ALSO BE RESPONSIBLE TO MAKE GOOD THE LOSS, IF ANY, SUSTAINED BY THE ALLOTTEES OF ABUTTING BOOTHS/SHOPS, H.S.V.P OR ITS EMPLOYEES.
- 2) POSITION OF STAIRCASE SHALL BE LEFT TO THE DISCRETION OF OWNER BUT WIDTH OF STAIR SHOULD NOT BE LESS THAN 0.85 MT. TREAD NOT LESS THAN 0.25 MT AND RISER NOT MORE THAN 0.20 MT.
- b) WINDERS IN STAIRCASE FOR APPROACHING FIRST FLOOR SHALL NOT BE ALLOWED.
- 3) THE FIRST FLOOR PROPOSED ON SINGLE STOREY SHOPS SHALL EXCLUSIVELY BE USED FOR STORAGE PURPOSE ONLY AND FOR NO OTHER PURPOSES.
- 4) FACADE SHALL BE STRICTLY ADHERED TO AS PER ARCHITECTURAL CONTROL.

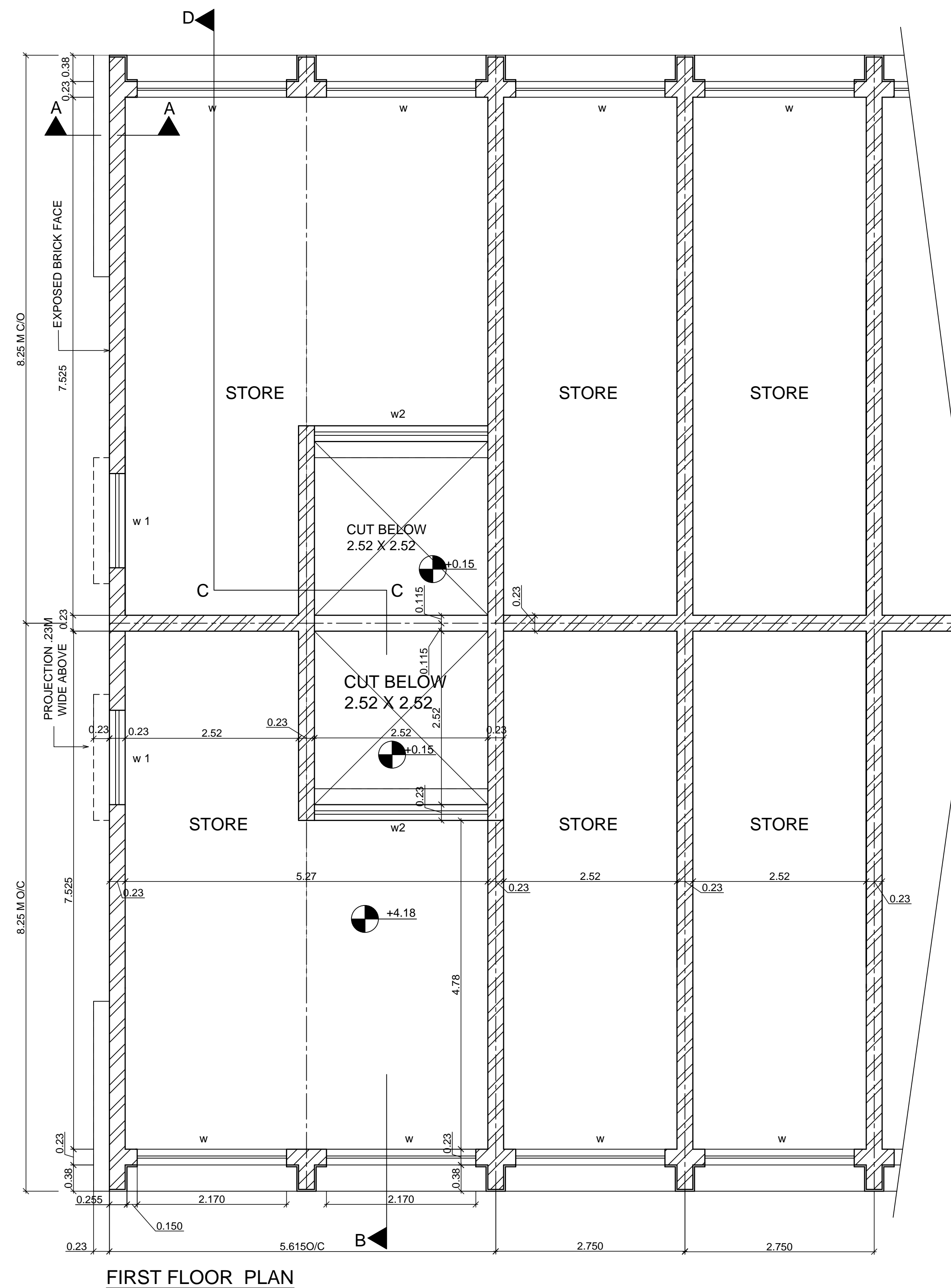
NOTES :-

1. THESE DRGS. ARE THE PROPERTY OF THE HARYANA SHAHRI VIKAS PRADHKARAN AND MUST NOT BE ALTERED COPIED OR USED IN WHOLE OR IN PART THERE OF WITHOUT THE PERMISSION OF THE AUTHORITY IN WRITING .
2. RESTRICTIONS CONTAINED IN THESE ARCHITECTURAL CONTROL SHEETS ARE IN ADDITION TO THE HARYANA BUILDING CODE 2017.
3. NO DEVIATION IN EXTERNAL FACADE OR FACADE THROUGH CORRIDOR SHALL BE ALLOWED .
4. INTERNAL PLANNING IS LEFT TO THE DISCRETION OF THE OWNER BUT SUBJECT TO THE PRIOR APPROVAL OF C.A. H.S.V.P.
5. BRICK WORK SHALL BE WITH 1/2" X 3/8" JOINT EVENLY PACKED WITHOUT COLOR WASH.
6. THE PUBLIC CORRIDOR INDICATED IN THE DRG. SHALL BE LEFT UNOBTAINED UNHINDERED AND UNENCROACHED FOR EXCLUSIVE USE AS A PUBLIC PASSAGE. THE SPECIFICATION OF THE CORRIDOR SHALL BE STRICTLY IN ACCORDANCE WITH THE INDICATION SHOWN AS THE DRG & EXECUTED & MAINTAINED BY THE OWNER TO THE ENTIRE SATISFACTION OF THE C.A. H.S.V.P.
7. NO ADVERTISEMENT SHALL BE ALLOWED IN SPACES OTHER THAN STIPULATED IN DRG.
8. NO RAIN WATER VENTILATING OR ANY OTHER PIPE SHALL BE PERMITTED ON THE EXTERNAL FACADE OF THE BLDG. ALL SUCH PIPES IN THE BLDG. SHALL BE PROPERLY ENCASED.
9. RAIN WATER PIPE SHALL BE PROVIDED BY OWNERS AS PER EXISTING SITE CONDITION
10. THE MEANS OF TAKING ELECTRICAL, TELEPHONES OR ANY OTHER CONNECTION FROM THE PUBLIC SUPPLY LINES SHALL BE SHOWN ON THE BLDG. PLAN SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE C.A. H.S.V.P.
11. NO SUB DIVISION OF PLOT/SHOP IS ALLOWED.
12. ONLY DULY QUALIFIED / REGISTERED & LICENSED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS. SUPERVISE CONSTRUCTION & ISSUE THE COMPLETION CERTIFICATE.
13. PLINTH LEVEL IS TO BE OBTAINED FROM THE COMPETENT AUTHORITY.
14. ALL EXTERNAL COLUMNS SHALL BE FINISHED WITH STEEL SHUTTERING PATTERN & NO COLOR WASH SHALL BE GIVEN TO THESE COLUMNS.
15. NO BASEMENT SHALL BE ALLOWED.
16. INTERNAL SHELF IS NOT COMPULSORY.
17. WATER CONNECTION WITH PRIOR APPROVAL OF C.A. H.S.V.P. SHALL BE PROVIDED IN CASE OF RESTAURANTS/DHABA /BARBER SHOPS.
18. THE END WALL SHALL BE 23 TH AND SHALL BE PROPERLY CONSTRUCTED WITH III CLASS BRICK IN CEMENT SAND MORTAR 1:4.
19. PLASTERED SURFACE IF SHOWN ON THE DRG. SHALL BE WHITE WASHED UNLESS OTHERWISE SPECIFIED.
20. WORKING DIMENSIONS ARE NOT TO BE SCALED ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
21. ALL DIMENSIONS ARE SHOWN TO THE FACE OF MASONRY OR CONC. UNLESS OTHERWISE SPECIFIED.
22. IN ALL CASES OF DISCREPANCY REFER ARCHITECTURAL WING H.S.V.P. FOR INSTRUCTIONS.
23. STRUCTURAL DESIGN SHALL BE OBTAINED BY THE THE OWNER AND ITS SAFETY SHALL BE HIS RESPONSIBILITY

SCHEDULE OF JOINERY				
S.NO.	TYPE	SIZE	CILL	TOP
1.	W	2.17X1.76	0.69	2.45
2.	W1	1.37 X 1.37	0.69	2.06
3.	W2	2.52X1.76	0.69	2.45



GROUND FLOOR PLAN



FIRST FLOOR PLAN

sd/-on 24-9-18
J.JANESAN (IAS)
CHIEF ADMINISTRATOR

sd/-
H.R.YADAV
CHIEF ARCHITECT

sd/-
RAJESH SEHGAL
SR. ARCHITECT

(VACANT)
ARCHITECT

sd/-
RACHNA VERMA
ASSTT.Architect

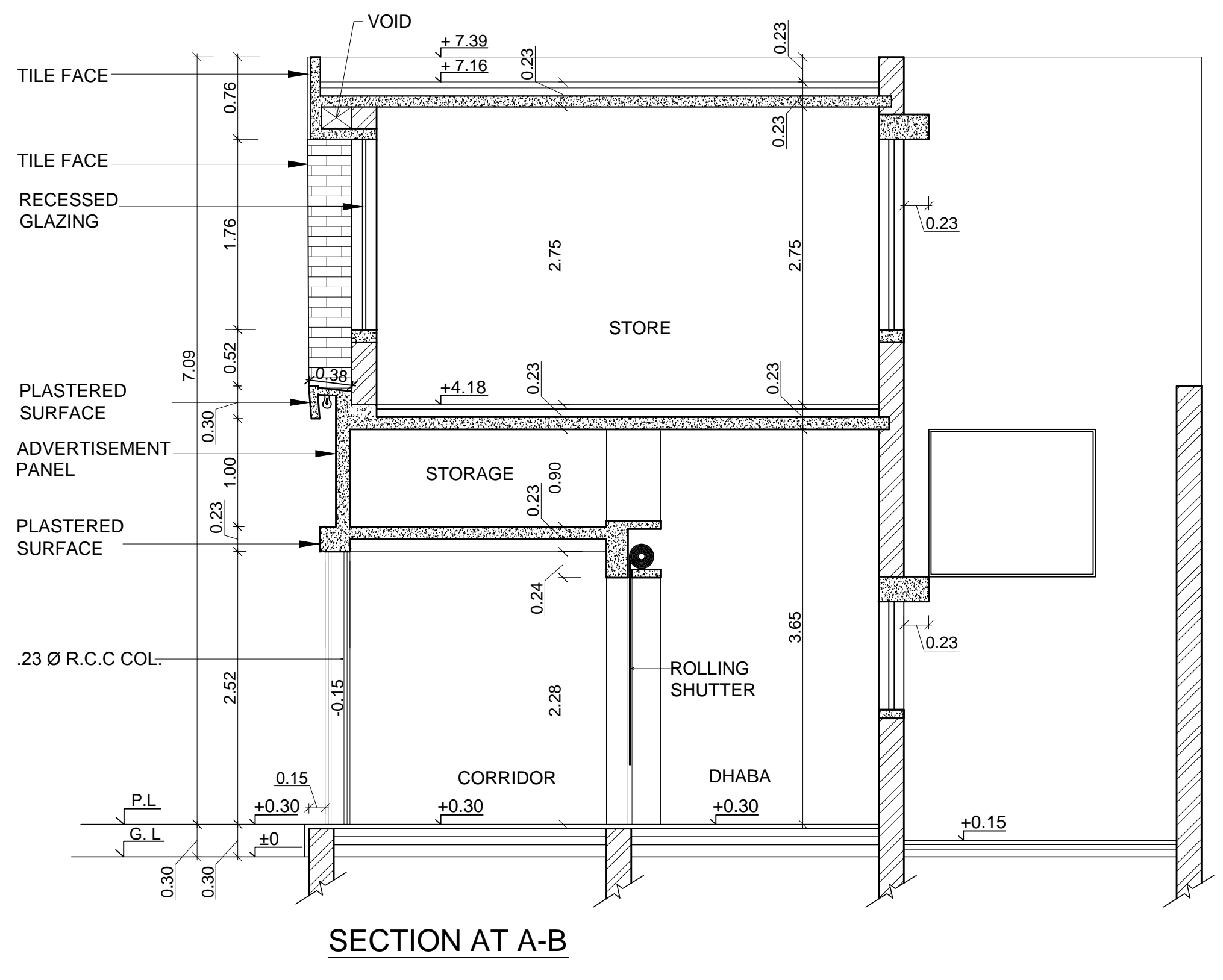
**ARCHITECTURE WING
H.U.D.A PANCHKULA**

VEENA RANI DEALT BY:	CHECKED BY:-
JOB NO 3335	SCALE 1:50
DATE SEP.2018	DRG. NO. 1

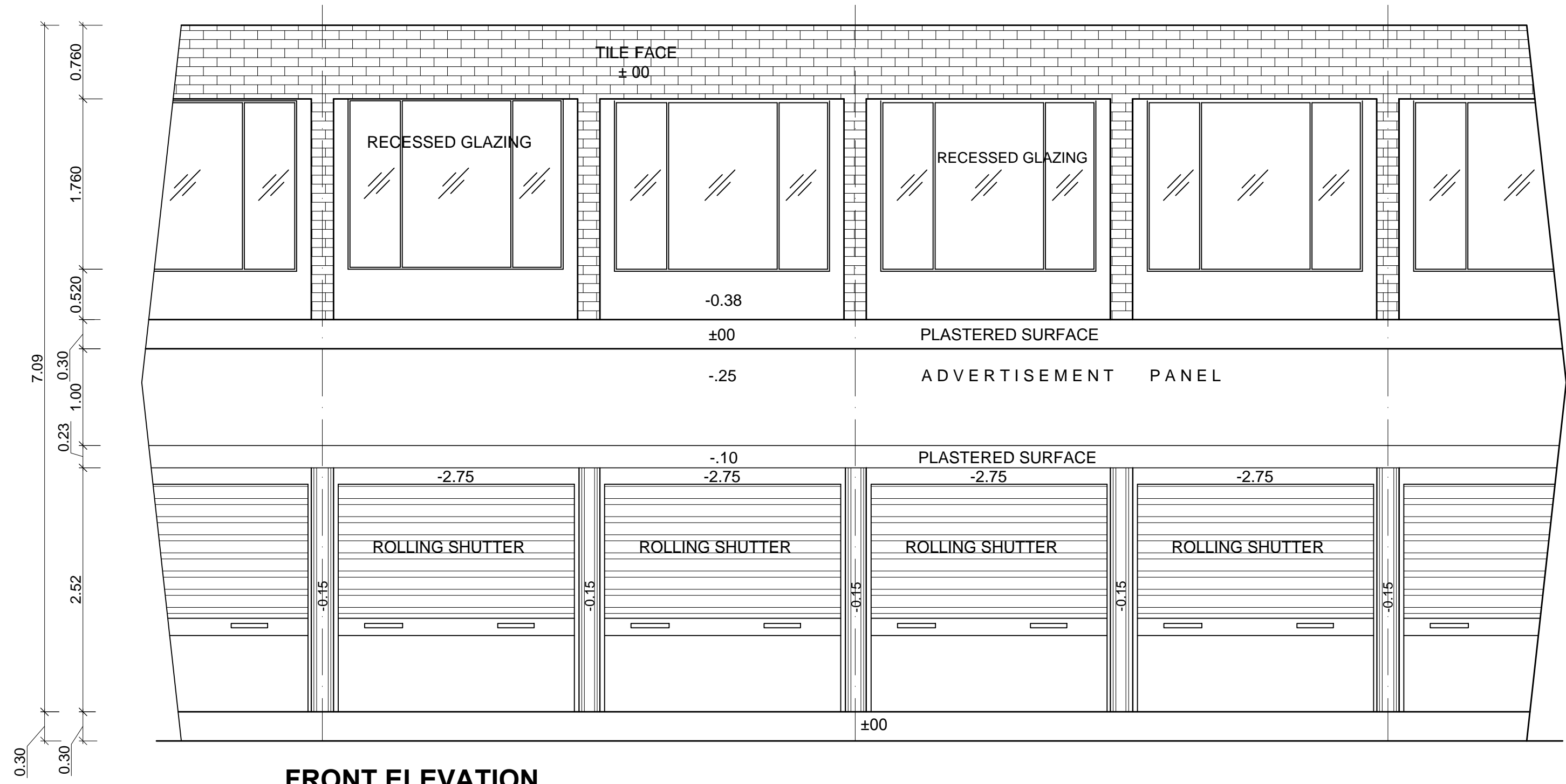
PROJECT TITLE:-
**DHABA END SIDE DEAD WITHOUT
BASEMENT WITH STORAGE ON
FIRST FLOOR (5.615x8.25mt.)**

CONTENTS
**GROUND FLOOR PLAN, FIRST
FLOOR PLAN AND FRONT
ELEVATION**

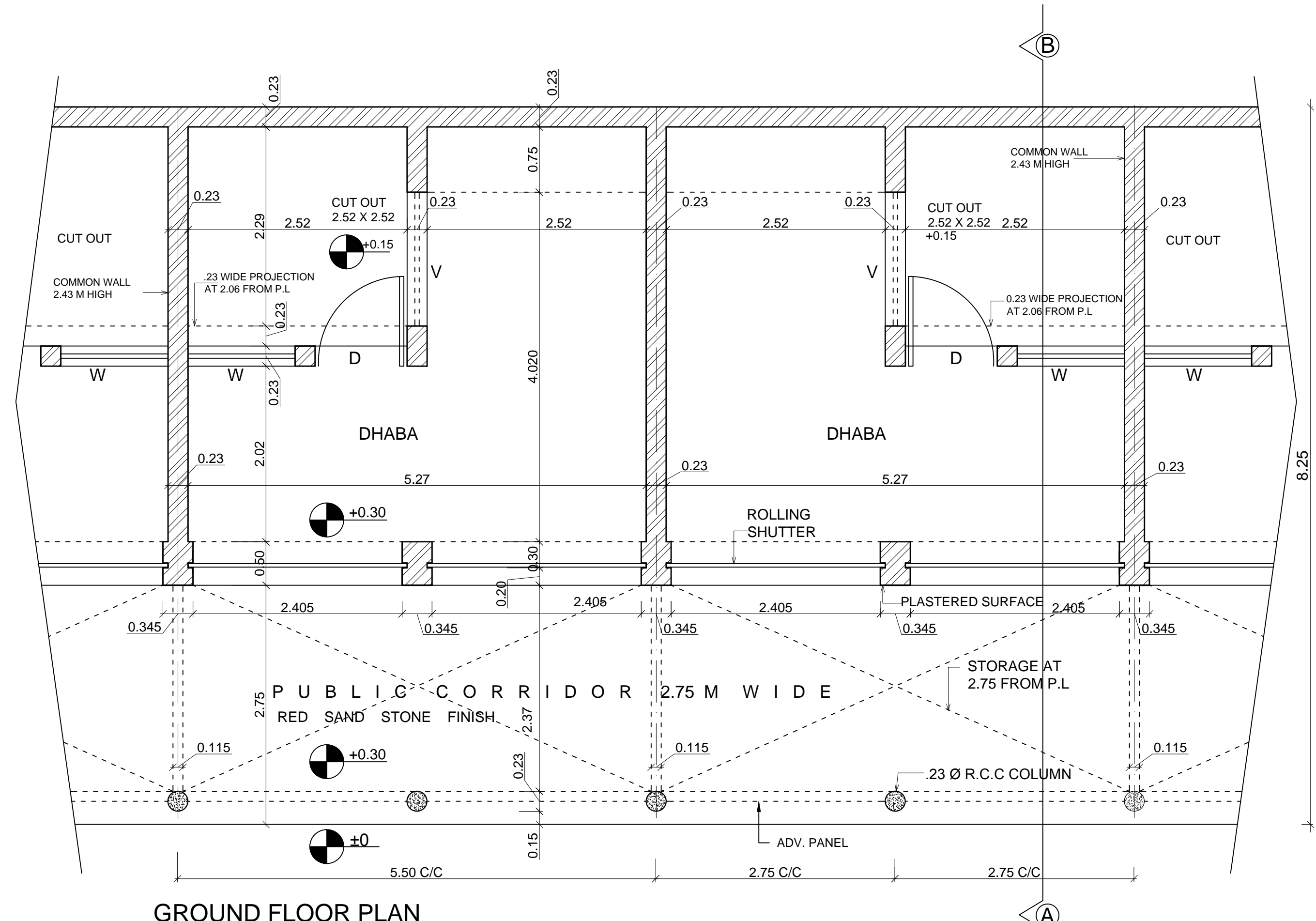
1. PROVISION OF FIRST FLOOR HAS BEEN APPROVED IN THE 112TH MEETING OF HUDA HELD ON 10.01.2017 AS PER AGENDA ITEM NO. A-112 TH (20).
 2. THIS JOB IS TO BE READ W.R.T. JOB NO.1075-B/1 FOR THE PROVISION OF STORAGE ON FIRST FLOOR.
 3. STAIRCASE SHALL BE AS PER ADDITIONAL CLAUSE NO. 2 WRITTEN ON THIS DRG.



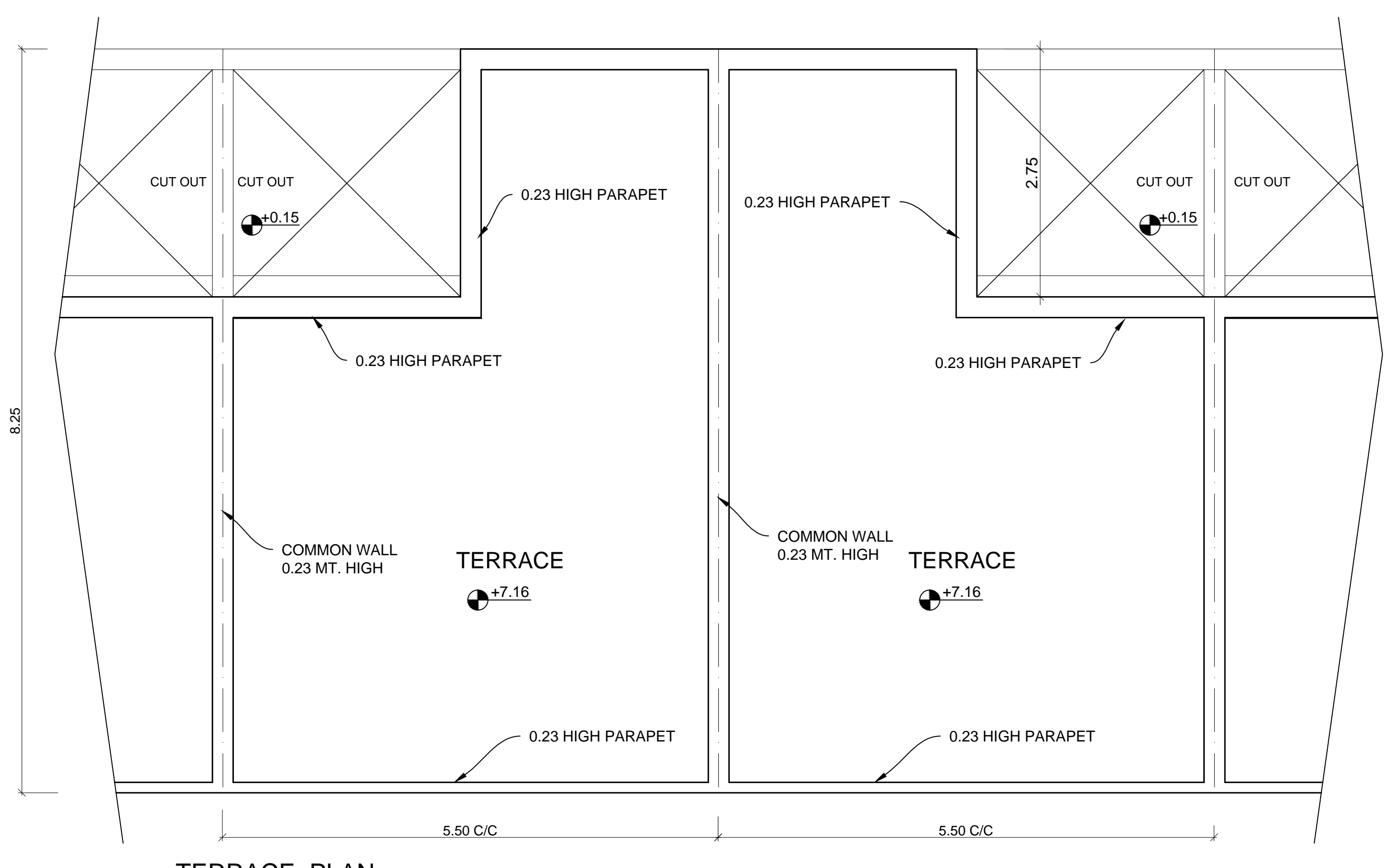
SECTION AT A-B



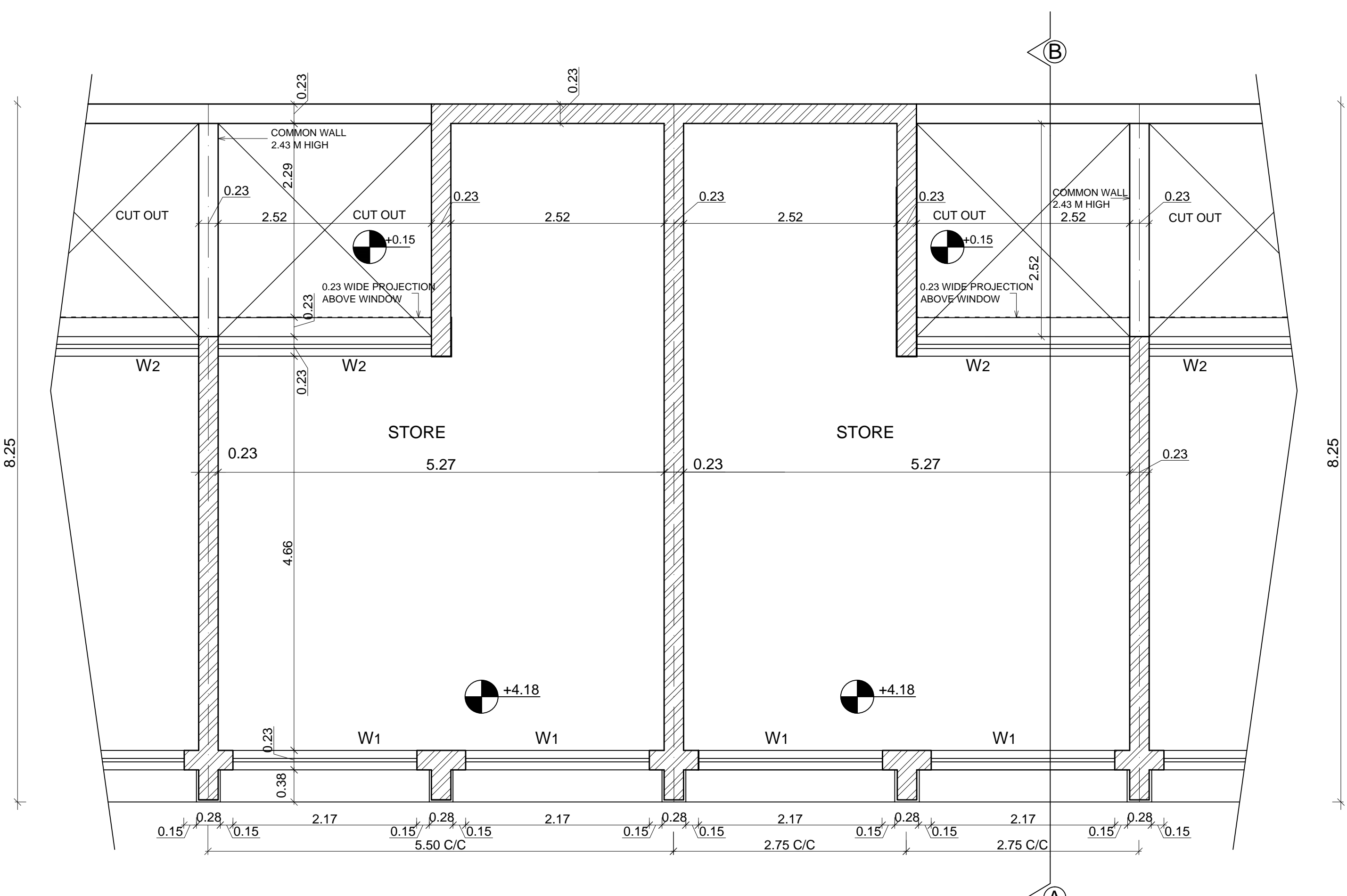
FRONT ELEVATION



GROUND FLOOR PLAN



TERRACE PLAN



FIRST FLOOR PLAN

ADDITIONAL CLAUSES:-

- 1) SANCTION OF BUILDING PLAN:- BEFORE THE COMMENCEMENT OF THE CONSTRUCTION, THE ALLOTTEE OF SINGLE STOREY DHABA SHALL GET THE BUILDING PLAN OF FIRST FLOOR SANCTIONED FROM CONCERNED ESTATE OFFICER, HSVP. THE BUILDING PLAN SHALL BE ACCOMPANIED WITH 'STRUCTURAL CERTIFICATE' ISSUED BY REGISTERED STRUCTURE ENGINEER AND APPLICANT/ALLOTTEE SHALL ALSO SUBMIT AN UNDERTAKING IN THE SHAPE OF AN AFFIDAVIT TO THE EFFECT THAT:-
 - a) THE ALLOTTEE SHALL BE ENTIRELY RESPONSIBLE FOR THE SAFETY OF HIS/HER OWN STRUCTURE AS WELL AS ABUTTING BOOTHS/SHOPS/DHABAS.
 - b) THE ALLOTTEE SHALL ALSO BE RESPONSIBLE TO MAKE GOOD THE LOSS IF ANY SUSTAINED BY THE ALLOTTEES OF ABUTTING BOOTHS/DHABAS, H.S.V.P OR ITS EMPLOYEES.
2. a) POSITION OF STAIRCASE SHALL BE LEFT TO THE DISCRETION OF THE OWNER BUT WIDTH OF STAIR SHOULD NOT BE LESS THAN 0.995 MT. TREAD NOT LESS THAN 0.25 MT. AND RISER NOT MORE THAN 0.20 MT.
- b) WINDERS IN STAIRCASE FOR APPROACHING FIRST FLOOR SHALL NOT BE ALLOWED.
- 3) THE FIRST FLOOR PROPOSED ON SINGLE STOREY DHABAS SHALL EXCLUSIVELY BE USED FOR STORAGE PURPOSE ONLY AND FOR NO OTHER PURPOSES.
- 4) FACADE SHALL BE STRICTLY ADHERED TO AS PER ARCHITECTURAL CONTROL.

26. EARTHQUAKE PROOF STRUCTURE SHALL BE DESIGNED AND ENSURED BY THE QUALIFIED STRUCTURAL ENGINEER AND IT SHALL BE AS PER NATIONAL BUILDING CODE REQUIREMENT.
27. FIRE FIGHTING PROVISIONS SHALL BE MADE AS PER N.B.C./ I.S.I. SPECIFICATIONS AND TO THE SATISFACTION OF LOCAL FIRE OFFICER. ALL THESE MEASURES SHALL BE PROVIDED AND SHALL BE HIS RESPONSIBILITY. THE SAME SHALL BE SHOWN ON THE PLAN WHILE SUBMITTING THE DRGS. FOR SANCTION WHICH SHALL BE THE RESPONSIBILITY OF THE OWNER.
28. WHEREVER HARYANA BLDG. CODE 2017 IS SILENT, NATIONAL BUILDING CODE SHALL BE FOLLOWED.
29. THE SET CONTAINS 1 NO. OF DRG.
30. DRG. APPROVED BY C.A. H.S.V.P. DT.

AREA STATEMENT

PLOT AREA	5.5 X 8.25 = 45.375 SQ.M
GROUND FLOOR AREA	5.50 X 8.25 = 45.375 SQ.M
FIRST FLOOR AREA	5.50 X 8.25 = 45.375 SQ.M
TOTAL COVD. AREA	=45.375+45.375= 90.75 SQ.M
F.A.R.	90.75 X 100 = 200% 45.375

SCHEDULE OF JOINERY

S.NO.	TYPE	SIZE	CILL	TOP
1.	R.S.	2.405x2.28	-	2.28
2.	D	1.05x2.05	-	2.05
3.	W	1.23x1.05	1.05	2.05
4.	W1	2.17x1.76	0.69	2.45
5.	W2	2.52x1.76	0.69	2.45
6.	V	1.54x1.36	2.29	3.65

HSVP

NOTES :-

1. THIS DRG. IS THE PROPERTY OF THE H.S.V.P AND NOT BE ALTERED, COPIED OR USED IN WHOLE OR IN PART THERE OF WITHOUT THE PERMISSION OF THE AUTHORITY IN WRITING.
2. RESTRICTIONS CONTAINED IN THIS ARCHITECTURAL CONTROL SHEET ARE IN ADDITION TO THE HARYANA BUILDING CODE 2017.
3. NO DEVIATION IN EXTERNAL FACADE OR FACADE THROUGH CORRIDOR SHALL BE ALLOWED.
4. INTERNAL PLANNING IS LEFT TO THE DISCRETION OF THE OWNER BUT SUBJECT TO PRIOR APPROVAL OF C.A. H.S.V.P.
5. BRICK WORK SHALL BE WITH 12 MM X 18 MM JOINT EVENLY PACKED WITHOUT COLOUR WASH.
6. THE PUBLIC CORRIDOR INDICATED IN THE DRG. SHALL BE LEFT UNOBSTRUCTED, UNHINDERED OR UNENCROACHED FOR EXCLUSIVE USE AS A PUBLIC PASSAGE. THE SPECIFICATION OF THE CORRIDOR SHALL BE STRICTLY IN ACCORDANCE WITH THE INDICATION SHOWN ON THE DRG. & EXECUTED & MAINTAINED BY THE OWNER TO THE ENTIRE SATISFACTION OF THE C.A. H.S.V.P.
7. NO ADVERTISEMENT SHALL BE ALLOWED IN SPACES OTHER THAN STIPULATED IN DRG.
8. NO RAIN WATER, VENTILATING OR ANY OTHER PIPE SHALL BE PERMITTED ON THE EXTERNAL FACADE OF THE BLDG. ALL SUCH PIPES IN THE BLDG. SHALL BE PROPERLY ENCASED.
9. RAIN WATER PIPES SHALL BE PROVIDED BY OWNER AS PER EXISTING SITE CONDITIONS.
10. THE MEANS OF TAKING ELECTRICAL, TELEPHONES OR ANY OTHER CONNECTION FROM THE PUBLIC SUPPLY LINES SHALL BE SHOWN ON THE BLDG. PLANS & SHALL BE SUBJECT TO THE PRIOR APPROVAL OF THE CHIEF ADMINISTRATOR H.S.V.P.
11. NO SUB DIVISION OF PLOT / SHOP IS PERMITTED.
12. ONLY DULY QUALIFIED, REGISTERED & LICENSED ARCHITECTS ARE ALLOWED TO SUBMIT PLANS, SUPERVISE CONSTRUCTION & ISSUE THE COMPLETION CERTIFICATE.
13. PLINTH LEVEL IS TO BE OBTAINED FROM THE COMPETENT AUTHORITY.
14. ALL EXTERNAL COLUMNS SHALL BE FINISHED WITH STEEL SHUTTERING PATTERN & NO COLOR WASH SHALL BE GIVEN TO THESE COLUMNS.
15. NO BASEMENT SHALL BE ALLOWED.
16. INTERNAL SHELF IS NOT COMPULSORY.
17. WATER CONNECTION WITH PRIOR APPROVAL OF C.A. H.U.D.A. SHALL BE PROVIDED IN CASE OF DHABA.
18. THE END WALL SHALL BE 0.23 THICK AND SHALL BE PROPERLY CONSTRUCTED WITH 1st CLASS BRICK IN CEMENT SAND MORTAR 1:4.
19. PLASTERED SURFACE IF SHOWN ON THE DRG. SHALL BE WHITE WASHED UNLESS OTHERWISE SPECIFIED.
20. WORKING DIMENSIONS ARE NOT BE SCALED ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
21. ALL DIMENSIONS ARE SHOWN TO THE FACE OF MASONRY OR CONCRETE UNLESS OTHERWISE SPECIFIED.
22. IN ALL CASES OF DISCREPANCY REFER ARCHITECTURE WING H.S.V.P. FOR INSTRUCTIONS.
23. STRUCTURAL DESIGN SHALL BE OBTAINED BY THE OWNER AND ITS SAFETY SHALL BE HIS RESPONSIBILITY.
24. AS PER CLAUSE 6.1 PART III OF HARYANA BUILDING CODE 2017, THIS ARCHITECTURAL CONTROL SHEET SHALL HAVE PRECEDENCE OVER THE ZONING PLANS OR BUILDING REGULATIONS.
25. SPACE PROVIDED FOR STORAGE ABOVE THE CORRIDOR SHALL BE EXCLUSIVELY USED FOR STORAGE ONLY AND FOR NO OTHER PURPOSE.

Sd/-
J.GANESAN (I.A.S)
CHIEF ADMINISTRATOR

Sd/-
H.R. YADAV
CHIEF ARCHITECT

Sd/-
RAJESH SEHGAL
SENIOR ARCHITECT

VACANT
ARCHITECT

Sd/-
RACHNA VERMA
ASSTT. ARCHITECT

**ARCHITECTURE WING
HSVP PANCHKULA**

JOB NO	SCALE	DATE	DRG NO
3337/2S	1:50	SEP.2018	1

CHECKED BY:

Sd/-
ANITA SAHNI
DEALT BY:

PROJECT TITLE:-
ARCHITECTURAL CONTROL OF DHABA WITH STORAGE ON FIRST FLOOR (WITHOUT BASEMENT) , (6.50 X 8.25mt.)

CONTENTS:
PLANS G.F., F.F., T.F., SECTION ATA-B, FRONT ELEVATION.